



Notice of Meeting

Notice is hereby given that the **Ordinary Council Meeting** of the **Whitsunday Regional Council** will be held at the Council Chambers, 67 Herbert Street, Bowen on **Wednesday 26 March 2025**, commencing at **9:00 AM** and the Agenda is attached.

Councillors: Ry Collins (Mayor), Michelle Wright (Deputy Mayor), Jan Clifford, Clay Bauman, John Collins, Gary Simpson and John Finlay



Warren Bunker

CHIEF EXECUTIVE OFFICER

Agenda of the Ordinary Council Meeting to be held at
Council Chambers, 67 Herbert Street, Bowen on Wednesday 26 March 2025
commencing at **9:00 AM**

Council acknowledges and shows respect to the Traditional Custodian/owners in whose country we hold this meeting.

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1 APOLOGIES/LEAVE OF ABSENCE

This item on the agenda allows Council the opportunity to receive apologies/leave of absence from Councillors unable to attend the meeting.

2 CONDOLENCES

To acknowledge and observe a minute silence for the recently deceased throughout the Whitsunday Region.

3.1 - Confirmation of Minutes

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Governance Administration Officer

AUTHORISING OFFICER: Director Corporate Services

PURPOSE

At each Council meeting, the minutes of the previous meeting must be confirmed by the councillors present and signed by the person presiding at the later meeting. The Minutes of Council's Ordinary Council Meeting held on 26 February 2025 are provided for Councils review and confirmation.

OFFICER'S RECOMMENDATION

That Council confirms the Minutes of the Ordinary Meeting held on 26 February 2025.

BACKGROUND

In accordance with s254F of the Local Government Regulation 2012, minutes were taken at Council's Ordinary Council Meeting held on 26 February 2025 under the supervision of the person presiding at the meeting. These unconfirmed minutes were reviewed and are available on Council's website for public inspection.

DISCUSSION/CURRENT ISSUE

Council's options are:

Confirm the Minutes of the Ordinary Council Meeting held on 26 February 2025.

If Council is satisfied that the unconfirmed minutes are an accurate representation of what occurred at the meeting held on 26 February 2025 and comply with legislative requirements outlined in this report, no further action is required other than to confirm the minutes as per the recommendation.

Confirm the Minutes of the Ordinary Council Meeting held on 26 February 2025 with amendments.

If Council is not satisfied that the unconfirmed minutes are an accurate representation of what occurred at the meeting held on 26 February 2025 and comply with legislative requirements outlined in this report, then they move a motion that they be confirmed but with a list of amendments to ensure they are correct and compliant.

FINANCIAL IMPLICATIONS

The price for a member of the public to purchase a copy of the minutes must not be more than the cost to the local government of having the copy printed and made available for purchase, and if the copy is supplied to the purchaser by post, the cost of the postage.

CONSULTATION/ENGAGEMENT

Manager Governance & Administration
Director Corporate Services

STATUTORY/COMPLIANCE MATTERS

In accordance with the Act, Council must record specified information in the minutes of a meeting regarding any declared conflicts of interest. At the Ordinary Council Meeting held on 26 February 2025, the following conflicts of interests were declared and recorded in the minutes:

Councillor/Officer	Prescribed or Declarable	Report No.	Particulars of the interest
Cr John Finlay	Prescribed	11.10	Cr Finlay declared a prescribed conflict of interest in item 11.10 - Special Project Grant Applications - Round 2 - November 2024 to January 2025 due to Cr Finlay being the treasurer of the Bowen Community Centre. As a result of this conflict of interest, Cr Finlay advised that he will leave the meeting and take no part in the discussion or decision making of this matter.

Local Government Regulation 2012

Section 254F of the Local Government Regulation stipulates that the Chief Executive Officer must ensure that minutes of each meeting of a local government are taken under the supervision of the person presiding at the meeting.

Minutes of each meeting must include the names of councillors present at the meeting and if a division is called on a motion, the names of all persons voting on the motion and how they voted.

At each meeting, the minutes of the previous meeting must be confirmed by the Councillors present and signed by the person presiding at the later meeting.

RISK ASSESSMENT/DEADLINES

A copy of the minutes of each meeting must be available for inspection by the public, at a local government's public office and on its website, within 10 days after the end of the meeting. Once confirmed, the minutes must also be available for purchase at the local government's public office(s).

TABLED MATTERS

Unresolved Tabled Matters			
Date of Meeting	Resolution Number	Summary	Status
24/04/2024	Notice of Motion – Dingo Beach Stinger Net OM2024/04/24.2	That the item regarding Dingo Beach Stinger Net be deferred pending further community Consultation.	This matter is currently being actioned by officers and will be presented to a future meeting of Council.

ATTACHMENTS

1. 26 February 2025 - Final Unconfirmed Ordinary Council Meeting Minutes [3.1.1 - 26 pages]



UNCONFIRMED

Minutes of the Ordinary Council Meeting held on Wednesday 26 February 2025 at Council Chambers, 83-85 Main Street, Proserpine

Council acknowledges and shows respect to the Traditional Custodian/owners in whose country we hold this meeting.

Councillors Present:

Ry Collins (Mayor/Chair), Michelle Wright (Deputy Mayor), Jan Clifford, Clay Bauman, John Collins, Gary Simpson, and John Finlay

Council Officers Present:

Warren Bunker (Chief Executive Officer); Julie Wright (Director Community Services and Facilitation); Neil McGaffin (Director Regional Strategy and Planning); Jason Bradshaw (Director Corporate Services); Gary Murphy (Director Infrastructure Services); Greg Martin (Communications and Marketing Manager); Craig Turner (Director Commercial Businesses); Adam Hagy (Director Capital Program and Network Planning); James Ngoroyemoto (Manager Governance and Administration); Madeleine Bailey (Governance Administration Officer / Minute Taker)

Other Officers Present (Partial Attendance):

Peter Shuttlewood (Executive Manager Procurement, Property and Fleet)

The meeting commenced at 09:00am

The meeting adjourned for morning tea at 10:33am

The meeting reconvened from morning tea at 10:59am

The meeting concluded at 12:02pm

At the commencement of the meeting, Mayor Collins acknowledged the recent weather events and expressed thanks and appreciation for the emergency services workers and council staff who have been actively involved in disaster response and coordination activities.

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1 APOLOGIES/LEAVE OF ABSENCE

There were no apologies/leaves of absence requests for this meeting.

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## 2 CONDOLENCES

Council acknowledged and observed a minute silence for the recently deceased throughout the Whitsunday Region.

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3 CONFIRMATION OF MINUTES

3.1 - Confirmation of Minutes

PURPOSE

At each Council meeting, the minutes of the previous meeting must be confirmed by the councillors present and signed by the person presiding at the later meeting. The Minutes of Council's Ordinary Council Meeting held on 29 January 2025 are provided for Councils review and confirmation.

OFFICER'S RECOMMENDATION

That Council confirms the Minutes of the Ordinary Meeting held on 29 January 2025.

RESOLUTION OM2025/02/26.1

Moved By: CR M WRIGHT

Seconded By: CR J CLIFFORD

That Council confirms the Minutes of the Ordinary Meeting held on 29 January 2025.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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## 4 BUSINESS ARISING

### 4.1 - Public Question Responses - 29 January 2025

Public Question Responses were noted.

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4.2 - Lot 201 - Scenic Ridge

PURPOSE

To present a report to Council on matters raised in a petition tabled at Council's 29 January 2025 Ordinary Council Meeting.

OFFICER'S RECOMMENDATION

That the report be received.

RESOLUTION OM2025/02/26.2

Moved By: CR C BAUMAN

Seconded By: CR J CLIFFORD

That the report be noted.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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##### 5 MAYORAL MINUTE

There was no mayoral minute for this meeting.

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6 NOTICES OF MOTION

There were no notice of motions for this meeting.

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##### 7 DEPUTATIONS

There were no deputations for this meeting.

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8 PETITIONS / QUESTIONS ON NOTICE

There were no petitions or questions on notice for this meeting.

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**9 QUESTIONS FROM THE PUBLIC GALLERY**

There were no public questions submitted during this meeting.

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10 COMMITTEES REPORTS

10.1 - Audit & Risk Committee Meeting Minutes - 11 February 2025

PURPOSE

To confirm the Audit and Risk Committee Meeting Minutes held on 11 February 2025.

OFFICER'S RECOMMENDATION

That Council endorse the Unconfirmed Minutes of the Audit & Risk Committee Meeting (Attachment 10.1.1) held on 11 February 2025.

RESOLUTION OM2025/02/26.3

Moved By: CR J FINLAY

Seconded By: CR M WRIGHT

That Council endorse the Unconfirmed Minutes of the Audit and Risk Committee (Attachment 10.1.1) held on 11 February 2025. Subject to deleting the reference to the 'Audit actions register' attachment in item 4.1.3 – Internal Audit Recommendations Update report, in the executive summary section.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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11 OFFICERS REPORTS

11.1 - 2024/25 Operational Plan Q2 Review

PURPOSE

The purpose of this report is to present Council's progress towards implementing the annual Operational Plan 2024/25 for the period ending 31<sup>st</sup> December 2024 (Quarter Two Review).

OFFICER'S RECOMMENDATION

That Council receive the Operational Plan 2024/25 Quarter Two Progress Report for the period of October 2024 to 31 December 2024 (**Attachment 11.1.1**).

RESOLUTION OM2025/02/26.4

Moved By: CR J CLIFFORD

Seconded By: CR C BAUMAN

That Council receive the Operational Plan 2024/25 Quarter Two Progress Report for the period of October 2024 to 31 December 2024 (**Attachment 11.1.1**) subject to minor amendments.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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11.2 - 20240693 - Development Application for Development Permit for Material Change of Use - Short Term Accommodation - 31 Airlie Crescent, Airlie Beach - 6A8597 - Y Chen

PURPOSE

To present the assessment of a development application for the short-term accommodation use of a proposed dwelling and to seek Council's determination.

OFFICER'S RECOMMENDATION

That Council approve the Development Application for Development Permit for Material Change of Use – Short-Term Accommodation, made by Y Chen, on L:6 A:8597, located at 31 Airlie Crescent, Airlie Beach, subject to conditions outlined in **Attachment 11.2.4**.

RESOLUTION OM2025/02/26.5

Moved By: CR J CLIFFORD

Seconded By: CR C BAUMAN

That Council refuse the Development Application for Development Permit for Material Change of Use – Short-Term Accommodation, made by Y Chen, on L:6 A:8597, located at 31 Airlie Crescent, Airlie Beach.

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Reasons for refusal:

1. The development does not comply with Whitsunday planning Scheme V4.7, Strategic Intent, Purpose and overall outcomes of the Low-density residential zone code.
2. The development does not comply with the Transport and parking code including Purpose and Overall outcome (3)(a)(iii) achieve acceptable levels of access, convenience, efficiency and legibility for all transport users.
3. Conditions of approval cannot be imposed to address the non-compliances.

MEETING DETAILS

The motion was Lost 2 / 5.

LOST

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**RESOLUTION OM2025/02/26.6**

Moved By: CR G SIMPSON

Seconded By: CR R COLLINS (MAYOR)

That Council approve the Development Application for Development Permit for Material Change of Use – Short-Term Accommodation, made by Y Chen, on L:6 A:8597, located at 31 Airlie Crescent, Airlie Beach, subject to conditions outlined in Attachment 11.2.4.

**MEETING DETAILS**

The motion was Carried 5 / 2.

Cr Clifford & Cr Bauman requested to be recorded as voting against the motion.

**CARRIED**

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11.3 - 20240246 - Development Application for Development Permit for Reconfiguration of a Lot - One (1) Lot into Two (2) Lots and Access Easement - 47 Gillies Road, Strathdickie - 82SP152068 - JA Carr & JE M Ellis

PURPOSE

To present the assessment of the development application for a two-lot rural residential subdivision and seek Council's determination.

OFFICER'S RECOMMENDATION

That Council approve the application for Development Application for Development Permit for Reconfiguration of a Lot – One (1) Lot into Two (2) Lots and Access Easement, made by JA Carr & JE M Ellis, on L: 82 SP: 152068 and located at 47 Gillies Road, Strathdickie, subject to the conditions outlined in **Attachment 11.3.4**.

RESOLUTION OM2025/02/26.7

Moved By: CR M WRIGHT

Seconded By: CR G SIMPSON

That Council approve the application for Development Application for Development Permit for Reconfiguration of a Lot – One (1) Lot into Two (2) Lots and Access Easement, made by JA Carr & JE M Ellis, on L: 82 SP: 152068 and located at 47 Gillies Road, Strathdickie, subject to the conditions outlined in Attachment 11.3.4 including replacing condition 6.4 with the below;

- The internal access from the property boundary through that section of the battle axe handle in Lot 2 to a point at the Southeastern corner of Lot 1 till the location of the proposed access for lot 2 must be constructed to an unsealed standard 5.5m wide prior to signing of the Survey Plans.

MEETING DETAILS

The motion was Carried 5 / 2

CARRIED

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**11.4 - 20220789 - Development Application for Development Permit for Material Change of Use - Marine Industry (Marine Salvage) - 3344 Shute Harbour Road, Shute Harbour - Ironbark Property Holdings**

**PURPOSE**

To present the assessment of the development application for Marine Industry (Marine Salvage) and seek Council's determination.

**OFFICER'S RECOMMENDATION**

That Council approve the Development Application for Development Permit for Material Change of Use - Marine Industry (Marine Salvage), made by Ironbark Property Holdings Pty Ltd As TTE, on L: 252 HR: 1717 and L: 301 HR: 1717, and located at 3344 Shute Harbour Road Shute Harbour, subject to reasonable and relevant conditions in **Attachment 11.4.4**.

**RESOLUTION OM2025/02/26.8**

Moved By: CR J CLIFFORD

Seconded By: CR R COLLINS (MAYOR)

That Council approve the Development Application for Development Permit for Material Change of Use - Marine Industry (Marine Salvage), made by Ironbark Property Holdings Pty Ltd As TTE, on L: 252 HR: 1717 and L: 301 HR: 1717, and located at 3344 Shute Harbour Road Shute Harbour, subject to reasonable and relevant conditions in **Attachment 11.4.4**.

**MEETING DETAILS**

The motion was Carried 7 / 0.

**CARRIED**

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11.5 - 20240436 - Development Application for Preliminary Approval (Variation Request) for Material Change of Use - Lascelles Avenue, Gunyarra - Whitsunday Enterprise Park Pty Ltd

PURPOSE

To present the assessment of the development application for a preliminary approval for the Whitsunday Enterprise Park integrated industrial/business development and seek Council's determination.

OFFICER'S RECOMMENDATION

That Council approve the Development Application for Preliminary Approval (Variation Request) for Material Change of Use, made by Whitsunday Enterprise Park Pty Ltd, on L: 70 SP: 149521 and located on Lascelles Avenue Gunyarra, subject to the conditions outlined in **Attachment 11.5.4**.

RESOLUTION OM2025/02/26.9

Moved By: **CR J COLLINS**

Seconded By: **CR J FINLAY**

That Council approve the Development Application for Preliminary Approval (Variation Request) for Material Change of Use, made by Whitsunday Enterprise Park Pty Ltd, on L: 70 SP: 149521 and located on Lascelles Avenue Gunyarra,

Subject to:

1. The conditions outlined in Attachment 11.5.4.
2. The removal of "or individual dwellings" from Table 7.2; AO3.2 of the Whitsunday Enterprise Park Development Scheme.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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**11.6 - 20241320 - Development Application for Development Permit for Material Change of Use - Indoor Sport and Recreation (Arcade) - 17 Gregory Street, Bowen - 1SP184796 - S Airey**

**PURPOSE**

To present the assessment of the development application for an arcade and to seek Council's determination.

**OFFICER'S RECOMMENDATION**

That Council approve the Development Application for Development Permit for Material Change of Use - Indoor Sport and Recreation (Arcade), made by S M Airey, on L: 1 SP: 184796 and located at 1/17 Gregory Street, Bowen, subject to the conditions outlined in Attachment 11.6.4.

**RESOLUTION OM2025/02/26.10**

Moved By: CR J FINLAY

Seconded By: CR M WRIGHT

That Council approve the Development Application for Development Permit for Material Change of Use - Indoor Sport and Recreation (Arcade), made by S M Airey, on L: 1 SP: 184796 and located at 1/17 Gregory Street, Bowen, subject to the conditions outlined in Attachment 11.6.4.

**MEETING DETAILS**

The motion was Carried 7 / 0.

**CARRIED**

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11.7 - 20090030 - Other Change Application - Development Application for Preliminary Approval (Variation) for Material Change of Use and Reconfiguration of a Lot; Development Permit for ROL - 4 Lots into 74 Lots & 4 Balance Lots (Hidden Valley Stage 4 & 6)

This item was withdrawn prior to the meeting commencing.

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#### 11.8 - Regional Strategy & Planning Quarterly Update October-December 2024

##### PURPOSE

To provide advice and a summary of the Regional Strategy & Planning Directorate for the period of October to December 2024.

##### OFFICER'S RECOMMENDATION

That Council note the Regional Strategy & Planning Directorate report for the period of October to December 2024.

##### RESOLUTION OM2025/02/26.11

Moved By: CR J CLIFFORD

Seconded By: CR J COLLINS

That Council note the Regional Strategy & Planning Directorate report for the period of October to December 2024.

##### MEETING DETAILS

The motion was Carried 7 / 0.

**CARRIED**

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The meeting adjourned for morning tea at 10:33am.

The meeting reconvened from morning tea at 10:59am.

11.9 - Donations, Sponsorships, In Kind Requests and Grants Approved January 2025

PURPOSE

To advise Council of the donations, sponsorships, in-kind support and grants up to \$20,000 provided for the month of January 2025.

OFFICER'S RECOMMENDATION

That Council:

- a) Note the Financial Support for Junior Elite Athlete Grant applications approved for the month of January 2025 to the applicants identified in **Attachment 11.10.1**.
- b) Note the Financial Support for Sponsorship applications approved for the month of January 2025 to the applicants identified in **Attachment 11.10.2**.
- c) Note the Financial Support for Sport & Recreation Club applications approved for the month of January 2025 to the applicants identified in **Attachment 11.10.3**.

RESOLUTION OM2025/02/26.12

Moved By: CR J FINLAY

Seconded By: CR J CLIFFORD

That Council:

- a) Note the Financial Support for Junior Elite Athlete Grant applications approved for the month of January 2025 to the applicants identified in Attachment 11.10.1.
- b) Note the Financial Support for Sponsorship applications approved for the month of January 2025 to the applicants identified in Attachment 11.10.2.
- c) Note the Financial Support for Sport & Recreation Club applications approved for the month of January 2025 to the applicants identified in Attachment 11.10.3.

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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Cr Finlay declared a prescribed conflict of interest in item 11.10 regarding Special Project Grant Applications - Round 2 - November 2024 to January 2025 as defined by section 150EL of the *Local Government Act 2009*, due to the following:

The name of any entity, other than the councillor, that has an interest in the matter: Bowen Community Centre.

The nature of the councillor's relationship with the entity: Cr Finlay is the treasurer of the Bowen Community Centre.

Details of the councillor's, and any other entity's, interest in the matter: Cr Finlay is the treasurer of the Bowen Community Centre.

As a result of this conflict of interest, Cr Finlay advised that he will leave the meeting and take no part in the discussion or decision making of this matter.

Cr Finlay left the room at 11:00am.

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11.10 - Special Project Grant Applications - Round 2 - November 2024 to January 2025

PURPOSE

For Council to consider the funding for the Special Projects Grant Applications for Round 2 of the 2024-25 Program.

OFFICER'S RECOMMENDATION

That Council:

1. Approve the payment of Special Projects Grants – Round 2, to assist the following recipients:
 - a) Proserpine Rugby League Football Club Inc. - \$10,000.
 - b) Bowen Community Centre - \$9,750.
 - c) PCYC Whitsunday – Queensland Police-Citizens Youth Welfare Association - \$7,486.

RESOLUTION OM2025/02/26.13

Moved By: **CR M WRIGHT**

Seconded By: **CR J COLLINS**

That Council:

1. Approve the payment of Special Projects Grants – Round 2, to assist the following recipients:
 - a) Proserpine Rugby League Football Club Inc. - \$10,000.
 - b) Bowen Community Centre - \$9,750.
 - c) PCYC Whitsunday – Queensland Police-Citizens Youth Welfare Association - \$7,486.

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MEETING DETAILS

The motion was Carried 6 / 0.

CARRIED

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Cr Finlay returned to the room at 11:06am.

#### 11.11 - Whitsunday Regional Sports Precinct

##### PURPOSE

The purpose of this report is to seek approval from Council for the short-term use of available land following the recent master plan process.

##### OFFICER'S RECOMMENDATION

That Council approve the invitation of tenders for a part of land lease located at Lot 35 HR49 and Lot 3 RP 742 888 for the purposes of cane farming.

##### RESOLUTION OM2025/02/26.14

Moved By: CR G SIMPSON

Seconded By: CR J COLLINS

That Council approve the invitation of tenders for a part of land lease located at Lot 35 HR49 and Lot 3 RP 742 888 for the purposes of cane farming.

#### MEETING DETAILS

The motion was Carried 7 / 0.

**CARRIED**

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11.12 - Community Services and Facilitation - Quarterly Report - October to December 2024

PURPOSE

The purpose of this report is to set out an account of statistics pertaining to the functions of each branch within the Community Services and Facilitation Directorate for Quarter Two of the 2024-2025 financial year.

OFFICER'S RECOMMENDATION

That Council receive the Community Services and Facilitation Quarterly Report (Q2) for 2024/2025.

RESOLUTION OM2025/02/26.15

Moved By: CR J FINLAY

Seconded By: CR M WRIGHT

That Council receive the Community Services and Facilitation Quarterly Report (Q2) for 2024/2025

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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### 11.13 - Monthly Finance Report

#### PURPOSE

To inform Council of the current unaudited financial performance and position for the reporting period.

#### OFFICER'S RECOMMENDATION

That Council receive the Monthly Financial Report, including the Unaudited Financial Statements for the period ended 31<sup>st</sup> January 2025.

#### RESOLUTION OM2025/02/26.16

Moved By: CR J CLIFFORD

Seconded By: CR J COLLINS

That Council receive the Monthly Financial Report, including the Unaudited Financial Statements for the period ended 31<sup>st</sup> January 2025.

#### MEETING DETAILS

The motion was Carried 7 / 0

CARRIED

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12 CONFIDENTIAL MATTERS

PROCEDURAL MOTION - CLOSURE OF MEETING (CONFIDENTIAL SESSION)
OM2025/02/26.17

Moved by: CR J CLIFFORD

Seconded by: CR M WRIGHT

That Council close the meeting to the public at 11:32am in accordance with Section 254J of the Local Government Regulations 2012 for closed meetings, for the purpose of discussing the following items and the reasons for going into closed session:

13.1 - Auction for Intention to Sell Land for Rate Arrears

- (e) *legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.*

13.2 - Bowen Aerodrome Hangar

- (g) *negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.*

13.3 - Commercial Negotiation - Lot 332 SP 152089 (Whitsunday Skyway)

- (h) *negotiations relating to the taking of land by the local government under the Acquisition of Land Act 1967.*

13.4 - Flagstaff Hill Cafe

- (g) *negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government*

MEETING DETAILS:

The procedural motion was Carried 7 / 0

CARRIED

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PROCEDURAL MOTION - REOPEN MEETING OM2025/02/26.18

Moved by: CR J CLIFFORD

Seconded by: CR M WRIGHT

That Council reopen the meeting to the general public at 11:56am.

MEETING DETAILS:

The motion was Carried 7 / 0

CARRIED

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This is page 20 of the Minutes of Council's Ordinary Council Meeting - 26 February 2025

12.1 - Auction for Intention to Sell Land for Rate Arrears

CONFIDENTIAL

S254J Local Government Regulation 2012 - Closed Meetings

- (1) A local government may resolve that all or part of a meeting of the local government be closed to the public.
- (3) However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—
 - (e) legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.

RESOLUTION OM2025/02/26.19

Moved By: CR M WRIGHT

Seconded By: CR G SIMPSON

That Council resolve that:

1. The sale of land proceedings for the below property for recovery of overdue rates and charges be rescinded in accordance with section 140 of the Local Government Regulation 2012:

Ass. No	Land use
1207841	Dwelling

2. The land described in the below table be sold by auction for overdue rates at 10:00am on Friday 4th April 2025 at the Proserpine Administration Building Council Chambers at 83 to 85 Main Street, Proserpine under section 142 (4) of the Local Government Regulation 2012; and

3. the Chief Executive Officer be authorised to set the reserve price on the land as per the Local Government Regulation 2012.

Assessment. No	Land use
1205942	Commercial Hotel
1205904	Units
1206336	Dwelling
1103473	Vacant Land
1300067	Vacant Land
1110358	Vacant Land
1205641	Dwelling
1106132	Dwelling
1205439	Dwelling
1107104	Dwelling
1105300	Dwelling

This is page 21 of the Minutes of Council's Ordinary Council Meeting - 26 February 2025

1302000

Vacant Land

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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#### 12.2 - Bowen Aerodrome Hangar

#### CONFIDENTIAL

##### **S254J Local Government Regulation 2012 - Closed Meetings**

- (1) *A local government may resolve that all or part of a meeting of the local government be closed to the public.*
- (3) *However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—*
  - *(g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.*

#### RESOLUTION OM2025/02/26.20

Moved By: CR J FINLAY

Seconded By: CR M WRIGHT

That Council:

- a) take possession of the abandoned Hangar onsite at the Bowen Aerodrome, Lot 237 on SP218205 owned by Skydiving Sydney Pty Ltd in accordance with the lease terms; and
- b) write final letters to NAB and Sydney Skydivers advising of Council exercising its right under the lease to take possession of the Hangar.

#### MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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This is page 22 of the Minutes of Council's Ordinary Council Meeting - 26 February 2025

This is page 30 of the Agenda of Council's Ordinary Council Meeting - 26 March 2025

12.3 - Commercial Negotiation - Lot 332 SP 152089 (Whitsunday Skyway)

CONFIDENTIAL

S254J Local Government Regulation 2012 - Closed Meetings

- (1) *A local government may resolve that all or part of a meeting of the local government be closed to the public.*
- (3) *However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—*
 - *(h) negotiations relating to the taking of land by the local government under the Acquisition of Land Act 1967.*

RESOLUTION OM2025/02/26.21

Moved By: CR J COLLINS

Seconded By: CR J CLIFFORD

That Council:

- (a) **Seek approval from the Minister of Local Government and Water for exemption under Section 227 of the Local Government Regulation to allow for the commercial negotiation for the potential disposal of part of land located at Lot 332 SP152089.**
- (b) **Provide delegated authority for the Mayor and Chief Executive Officer to continue to explore and investigate the potential opportunities associated with the proposed commercial development; and**
- (c) **Engage with the Department of State Development, Infrastructure and Planning to undertake the necessary development assessment of any proposed development that may arise from the negotiations.**

MEETING DETAILS

The motion was Carried 7 / 0.

CARRIED

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This is page 23 of the Minutes of Council's Ordinary Council Meeting - 26 February 2025

This is page 31 of the Agenda of Council's Ordinary Council Meeting - 26 March 2025

#### 12.4 - Flagstaff Hill Cafe

##### CONFIDENTIAL

##### **S254J Local Government Regulation 2012 - Closed Meetings**

- (1) *A local government may resolve that all or part of a meeting of the local government be closed to the public.*
- (3) *However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—*
  - *(g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.*

##### **RESOLUTION OM2025/02/26.22**

**Moved By:** CR R COLLINS (MAYOR)

**Seconded By:** CR M WRIGHT

That Council authorise the Chief Executive Officer to enter into negotiations and execute a lease with NKN Enterprises Pty Ltd for part of the land being Lot 210 on RP312206 in accordance with Section 236(1)(e) of the Local Government Regulation 2012 for a term of 3 years with 2 x 3 year options.

##### **MEETING DETAILS**

The motion was Carried 7 / 0.

**CARRIED**

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13 LATE REPORT ITEMS

There were no late items for this meeting.

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**14 MATTERS OF IMPORTANCE**

**RESOLUTION OM2025/02/26.23**

**Moved By: CR M WRIGHT**

**Seconded By: CR G SIMPSON**

**That Council reviews the Development Manual standards for shared driveways.**

**MEETING DETAILS**

The motion was Carried 7 / 0.

**CARRIED**

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Cr J Clifford wanted to record her personal thanks to the council staff who were working on restoring water services during the recent weather event.

UNCONFIRMED

The Meeting closed at 12:02pm.

Confirmed as a true and correct recording this 26 March 2025.

Cr Ry Collins

MAYOR

This is page 26 of the Minutes of Council's Ordinary Council Meeting - 26 February 2025

This is page 34 of the Agenda of Council's Ordinary Council Meeting - 26 March 2025

4 BUSINESS ARISING

This item on the agenda allows Councillors the opportunity to seek clarification or updates on business arising from the minutes of the previous meeting.

5 MAYORAL MINUTE

This item on the agenda allows the Mayor to introduce, by a signed minute, a matter for consideration at the meeting. In accordance with Council's Standing Orders, such a matter takes precedence over all other matters for consideration at the meeting and may be adopted by a motion moved by the Mayor without the need for the motion to be seconded.

6 NOTICES OF MOTION

In accordance with Council's Standing Orders, Councillors may give notice of any business they wish to be discussed at an Ordinary Meeting by way of a Notice of Motion. This item on the agenda allows Councillors to introduce and move any motions they have submitted to the Chief Executive Officer for inclusion in the agenda.

7 DEPUTATIONS

This item on the agenda allows persons to make a deputation to Council. Deputations are managed in accordance with Council's adopted Standing Orders.

This item on the agenda allows for the following two options:

1. Councillors to present a petition to the meeting in accordance with Council's Standing Orders, no debate on or in relation to the tabled petition shall be allowed and the only motion which may be moved is that the petition either be received, referred to a Committee or Council officer for consideration and report back to Council, or not be received because it is deemed invalid.
2. The inclusion of any responses prepared by officers in response to questions taken on notice at previous meetings of Council.

Excerpt from Council's Standing Orders:

1. In each Meeting, time shall be set aside to permit members of the public to address the Council on matters of public interest related to local government.
2. Questions from the Public Gallery will be taken on notice and may or may not be responded to at the Meeting.
3. The time allotted shall not exceed fifteen (15) minutes and no more than three (3) speakers shall be permitted to speak at any one (1) meeting.
4. Any person addressing the Council shall stand, act and speak with decorum and frame any remarks in respectful and courteous language.

10 COMMITTEES REPORTS

This item on the agenda is for consideration of any Council Committee's business.

11.1 - 20090030 - Other Change Application - Development Application for Preliminary Approval (Variation) for Material Change of Use and Reconfiguration of a Lot; Development Permit for ROL - 4 Lots into 74 Lots & 4 Balance Lots (Hidden Valley Stage 4 & 6)

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Senior Planner

AUTHORISING OFFICER: Director Regional Strategy and Planning

PURPOSE

To present the assessment of the development application for a preliminary approval for the Twin Creeks Eco Park and seek Council's determination.

EXECUTIVE SUMMARY

Council is in receipt of an Other Change request to an existing preliminary approval previously known as the Fig Tree Falls Eco-Community.

The change sought will create the Twin Creeks Eco Park within Hidden Valley. The applicant intends to develop a nature-based tourism and adventure park which will form part of the larger Hidden Valley Estate development. The adventure park will consist of a network of walking and biking trails and be supported by accommodation, business, entertainment and educational uses.

There are two completed stages of rural residential development within Hidden Valley providing 37 lots. This Other Change request includes adding adjoining rural land to the development for additional rural residential development. The proposal includes a request for a development permit for an additional 74 rural residential lots, split between Stage 4 and Stage 6 of Hidden Valley Estate.

The variations sought will mean future development will be assessed against the Twin Creeks Eco Park Development Scheme. The Development Scheme results in changing the level of assessment of intended uses from impact assessable to code assessable and accepted development. A full list of the intended uses of the land is provided below.

The variations to the Planning Scheme to facilitate the nature-based tourism and adventure park are fully supported.

A major variation sought to the Planning Scheme is the reduction of the minimum lot size of the rural residential development within stage 6 from 4,000m² to 3,000m². The application originally sought 2,000m² lots for Stage 6.

One parcel of additional land that is subject to this variation is Stage 6 of development, along Rifle Range Road at the entrance to the development.

Public notification occurred between 23 October 2024 and 6 December 2024 with seven submissions in support and one opposing submission received. The submission raised concerns regarding the capacity and safety of Rifle Range Road to cater for the additional traffic to be generated by the development.

As the request for a variation to the minimum lot sizes is contained within the Development Scheme, Council is required to approve or refuse the Development Scheme as presented and cannot separately decide the nature-based tourism and adventure park from the minimum lot sizes. The applicant has provided several relevant matters for Council's consideration to support the reduction in lot sizes. The full list is provided in the Discussion/Current issue and are tied to the benefits of the nature-based tourism and adventure park and the affordability of smaller lots.

Whilst the benefits of the wider project are understood and supported, the conflict with the minimum lot size requirement is a significant matter and one which weighs against the proposal. As the lot size matter is not one which the applicant is tied to as a result of any physical constraint to the land or any other impediment, the provisions of the scheme and the strategic purpose for the rural residential zone should be maintained and not varied. It is therefore recommended Council refuse the Other Change to the Preliminary Approval and Development Permit for Reconfiguration of a Lot for Stages 4 and 6.

Updated

A report was withdrawn from the February Ordinary Meeting agenda and has been resubmitted following receipt of a draft Infrastructure Agreement outlining the developer's intent to tie the delivery of Stage 1 to the commencement of Stage 1 of the mountain biking and walking trails. An agreement has not been entered into by Council prior to this report being presented for determination.

OFFICER'S RECOMMENDATION

That Council refuse the Change Application (Other) to the Preliminary Approval (Variation Request to the Whitsunday Regional Planning Scheme 2017 v3.9) for Material Change of Use and Reconfiguration of a Lot; and Development Permit for a Reconfiguration of a Lot - 4 Lots into 81 Lots and 4 Balance Lots, made by Blue Jeep Investments Pty Ltd, on L: 7 SP: 137723, L: 25 SP: 342157, L: 5 RP: 740965, L: 210 SP: 332143 and located at Bushranger Dr, Cowan Rd, Duval Rd, Swagmans Lane, Rifle Range Road, for the following reasons:

1. There has been no demonstration that an overriding planning need exists for lots below 4,000m².
2. The predicted demand and supply of rural residential land within the planning scheme area was modelled by the Whitsunday Regional Council Urban Growth Study and adequate land is zoned to accommodate predicted demand.
3. The variation for minimum lot sizes in precinct C1 of 3,000m² and minimum lot sizes of the development permit for Stage 6 conflicts with the Whitsunday Regional Council Planning Scheme 2017 and cannot be conditioned to comply. Specifically:
 - a. The proposal is unable to comply with the Liveable Communities and Housing theme of the Strategic Intent which seeks to ensure Rural residential development only occurs on the fringes of the urban area.
 - b. The proposal conflicts with AO1.1 and AO1.2 of the Reconfiguring a lot code as the minimum lot sizes and dimensions are below those specified in Table 9.4.7.3.2.
 - c. The proposal conflicts with PO1 (a) and (b) as the lot sizes are not appropriate for the intended use of semi-rural living nor compatible with the prevailing character and density of surrounding development.

- d. The proposal conflicts with overall outcome 2(a)(i) and (iii) of the Reconfiguring a lot code as the lot sizes are not appropriate for the intended use of semi-rural living nor compatible with the prevailing character and density of surrounding development.
- e. The proposal conflicts with purpose (2) of the Rural residential zone code as the lot sizes are not semi-rural in nature or developed as a logical extension, infill or consolidation of existing rural residential zoned land.

BACKGROUND

In 2009, the first development approval was issued for an integrated development, previously called the 'Figtree Falls Eco-Community'. This development approval, and all subsequent approvals are outlined below:

1. On 17 December 2009, Council issued a Negotiated Decision Notice Approval comprising the following uses;
 - Part A – Material Change of Use of Premises – Eco-Community (Integrated Resort/Residential Development) comprising One-hundred and Eighty-five (185) Accommodation Units & Tourist Facilities; One-hundred and Ninety (191) Detached Dwellings; Community Centre; General Store and Associated Community Facilities and Infrastructure;
 - Part B – Reconfiguration of a Lot – Four (4) Lots into approximately Two-hundred and Eighty-four (284) Lots;
 - Part C – Environmentally Relevant Activity – Sewerage Treatment Plan (ERA No.15B);
 - Part D – Operational Works for the proposed building of a Retaining Wall.
2. On 22 March 2016, Council approved a request to alter the level of assessment of Part B (Reconfiguration of a Lot) from Impact to Code assessable development.
3. 20150881 – Operational Works approval for Survey and Clear Access within a Road Reserve. All works under this permit have been completed.
4. 20170177 – Reconfiguration of a Lot for One (1) into Twenty-seven (27) Lots. All lots created under this approval have now been registered.
5. 20190944 – Operational Works for Roadworks, Drainage and Earthworks associated with 'Stage 1'. Works relating to this approval are in the on-maintenance phase.
6. 20200980 – Reconfiguration of a Lot for a Boundary Realignment. The survey plan to create the lots has been endorsed and is currently awaiting final registration.
7. 20210445 - Reconfiguration of a Lot for One (1) Lot into Ten (10) Lots (Stage 2) & One (1) Balance Lot. All lots created under this approval have now been registered.
8. 20211167 - Reconfiguration of a Lot for a Two (2) Lot Boundary Realignment (road Opening). Approval was obtained 15 February 2022 and is registered.
9. 20220365 - Reconfiguration of a Lot for Two (2) Lot into Twenty-one (21) Lots. The lots created under this approval are yet to be registered.

10. 20220981 – Material Change of Use for Stage 1 of the Twin Creeks Eco Park – Approval obtained on 8 June 2023.
11. 20230210 – Reconfiguration of a Lot – Five (5) Lots into Five (5) Lots (Boundary Realignment). The survey plan is registered.
12. 20231165 - Request for Acceptance of a Development Application Under a Superseded Planning Scheme – Other Change to Preliminary Approval. This approval allowed the applicant to lodge this Other Change application.

DISCUSSION/CURRENT ISSUE

The key variations of the Twin Creeks Eco Park Development Scheme (TCEPDS) from the current requirements Rural zone are:

The following uses to be accepted development where complying with the code:

- Garden Centre (within Precinct A or B only).

Code assessable development:

- Multiple dwelling
- Rooming accommodation
- Short-term accommodation
- Tourist park
- Relocatable Home Park
- Food and drink outlet
- Function facility
- Educational establishment
- Indoor sport and recreation
- Outdoor sport and recreation
- Reconfiguring a Lot in Precinct C (1) - 4,000m² minimum lot size
- Reconfiguring a Lot in Precinct C (2) - 3,000m² minimum lot size

These changes will remove the ability for the public to submit against these uses in the future. In accordance with section 61(2)(c) of the Planning Act 2016, the application material provided clearly details the vision for the site which will guide the future development. The development application contains adequate information via plans of future development and a detailed proposed development code for the public to form an informed view.

The proposal will provide 3,000m² minimum lot sizes in Stage 6 of the overall development. This is the key Planning Scheme non-compliance as the applicant intends to create rural residential lots at half the minimum lot size for the rural residential zone. The proposal is not supported by a planning or economical need analysis to justify the departure from the minimum lot size.

The applicant has presented other relevant matters to justify the non-compliance:

- 155 construction jobs over the 5-year construction period.
- 128 operational jobs over a 5-year operational period.
- Generate output (GRP) of \$21.25m pa in the operational phase.
- Will be operated in close collaboration with Gia/Ngaro Traditional Owners Reference Group Aboriginal Corporation including a \$2.2m Indigenous Ranger Program by Federal Government.

- Will address an identified gap in the region in terms of land-based sport and recreation opportunities.
- It is estimated between \$8-\$10m will be invested in the first 2 years of the Twin Creeks Eco Park. Comparably, the additional economic benefit gain by creating 'smaller' lots in Stage 6 is expected to be between \$800k - \$1m, being a 10:1 ratio between community investment and economic gain.
- The smaller and more affordable lots proposed within Stage 6 are designed to attract first home buyers, with house and land packages available under \$750k.
- Within the first 3 weeks of marketing, 21 of the 38 lots proposed were sold to mostly first home buyers or younger buyers with budget constraints.
- The mountain bike & walking trails are in close proximity to the 'Great Walk' and there is opportunity to connect Twin Creeks Eco Park with the Great Walk and ultimately the 'Skyway' development. All three uses are complementary and nature, and once connected, will become a large scale, nationally significant tourism attraction.

Notwithstanding the wider benefits of the proposal, the conflict with the minimum lot sizes of the Planning Scheme is significant and one which weighs against the proposal as the matters have been tied together in the application.

FINANCIAL IMPLICATIONS

Application fees have been paid. Infrastructure charges amount to \$1,131,080.51 for stage 4 and 6 combined.

CONSULTATION/ENGAGEMENT

Manager Development Assessment
 Manager Roads & Drainage
 Manager Natural Resource Management and Climate
 Senior Stormwater Engineer
 Development Engineer
 Plumbing Team Leader

STATUTORY/COMPLIANCE MATTERS

Planning Act 2016

Whitsunday Regional Council Planning Scheme 2017 v3.9

RISK ASSESSMENT/DEADLINES

A decision is required by 28 February 2025

The decision may be appealed in the Planning & Environment Court of Queensland.

STRATEGIC IMPACTS

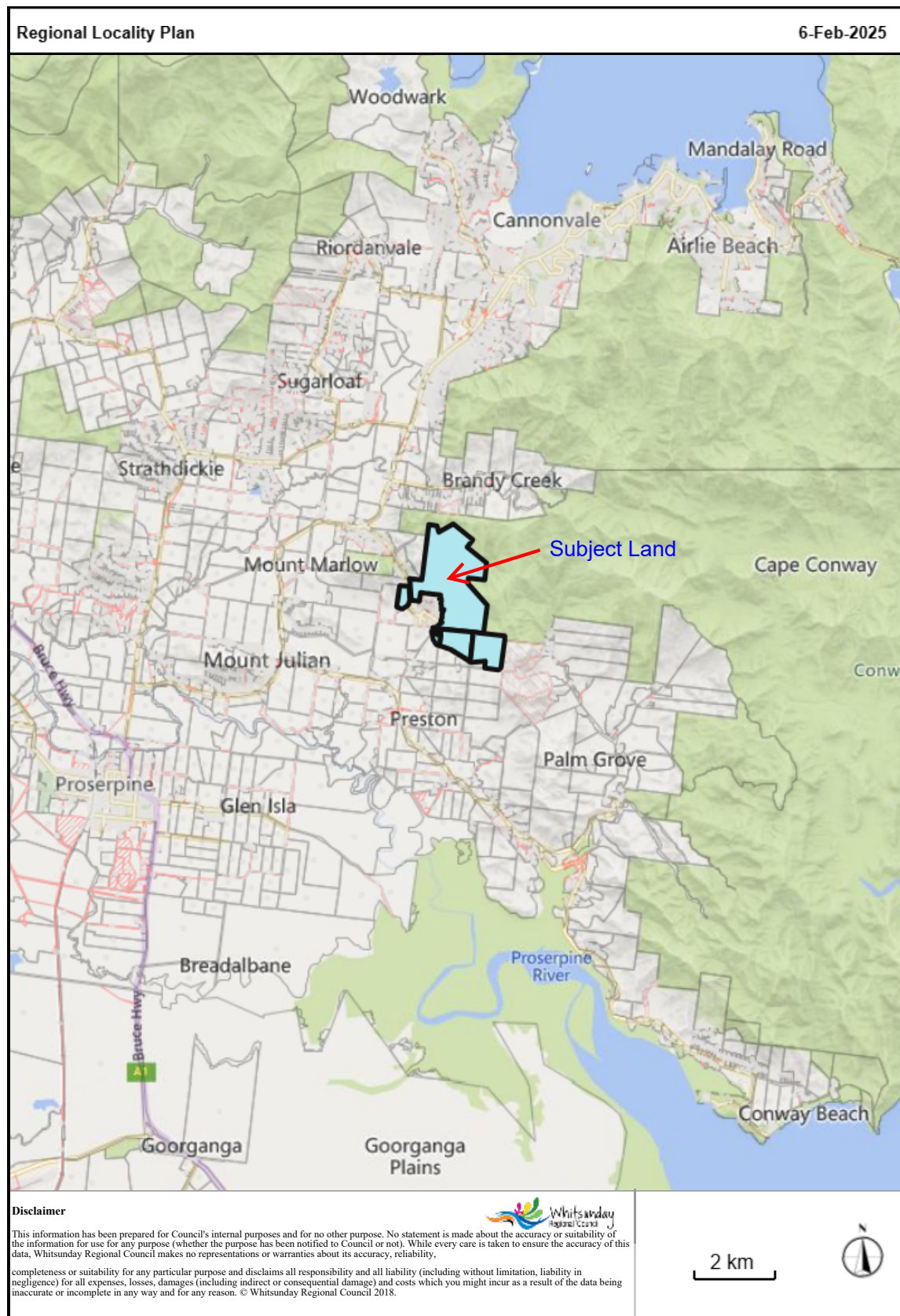
Corporate Plan Reference:

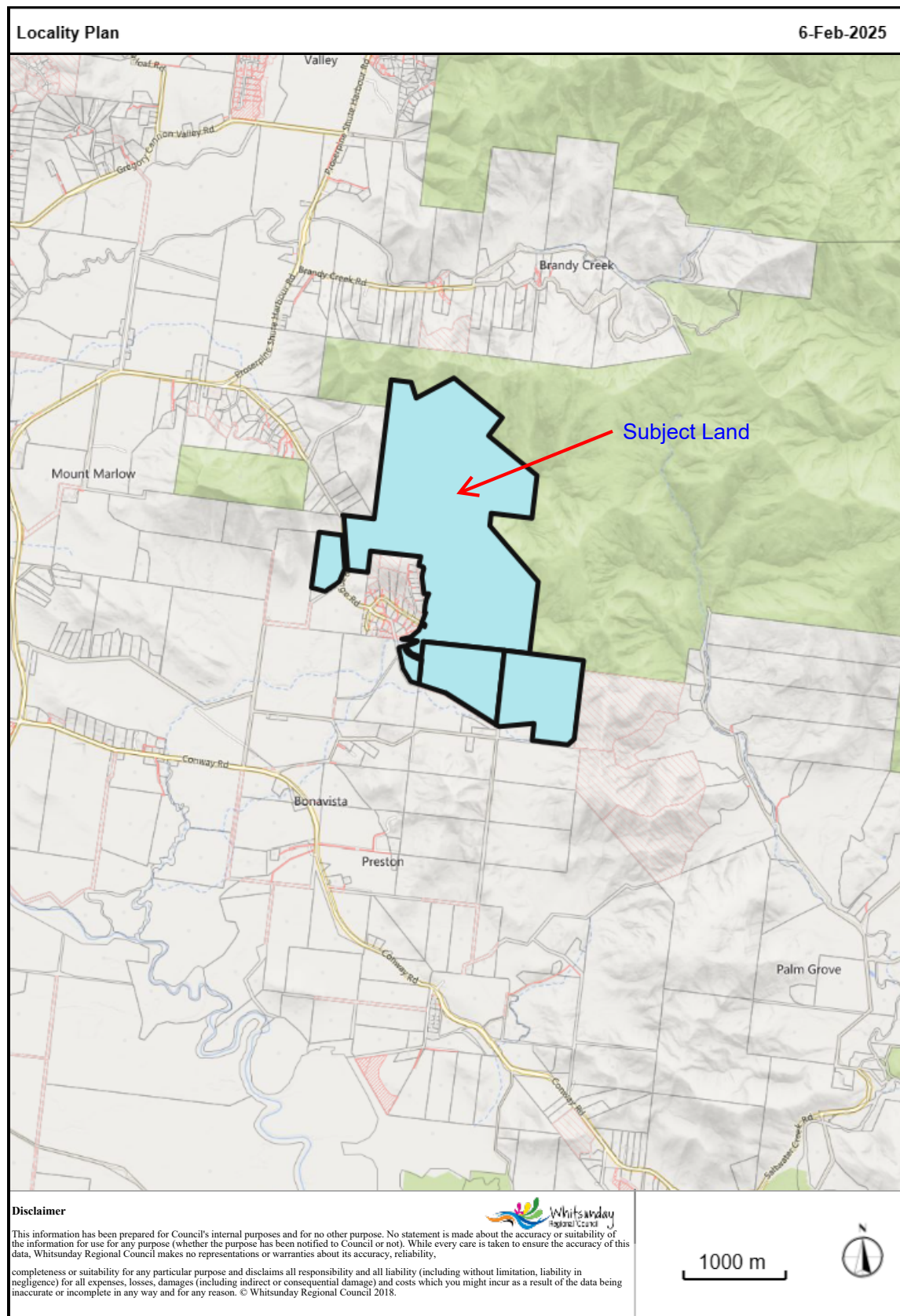
Process all statutory applications within statutory timeframes.

ATTACHMENTS

1. Regional Locality Plan [11.1.1 - 1 page]
2. Locality Plan [11.1.2 - 1 page]
3. Planning Assessment Report [11.1.3 - 19 pages]
4. Twin Creeks Eco Park Masterplan [11.1.4 - 1 page]

5. Twin Creeks Eco Park Development Scheme [**11.1.5** - 31 pages]
6. Stage 4 ROL Plan [**11.1.6** - 1 page]
7. Stage 6 ROL Plan [**11.1.7** - 1 page]





PLANNING ASSESSMENT REPORT

Council has received the following Development Application, which has been assessed against the provisions of the relevant legislation as reported below.

1. Application Summary

Proposal:	Change Application (Other) - Development Application for Preliminary Approval (Variation Request to the Whitsunday Regional Planning Scheme 2017 v3.9) for Material Change of Use and Reconfiguration of a Lot; and Development Permit for a Reconfiguration of a Lot - 4 Lots into 74 Lots and 4 Balance Lots (Hidden Valley Estate Stage 4 and 6)
Landowner	Blue Jeep Investments Pty Ltd
Property Address:	Bushranger Drive, Cowan Road, Duval Road & Rifle Range Road, Preston
Property Description:	L: 7 SP: 137723, L: 25 SP: 342157, L: 5 RP: 740965, L: 203, L: 210 SP: 332143
Area of Site:	Lot 25 – 336ha Lot 7 – 43.65ha Lot 5 – 60.12ha Lot 210 – 5.519ha
Planning Scheme Zone:	Rural zone
Level of assessment	Impact Assessable
Overlays:	Agricultural Land Bushfire Hazard Environmental Significance Flood Hazard Infrastructure Landslide Waterways and Wetlands
Existing Use:	Lot 25 – Vacant rural land & Hidden Valley / Twin Creeks Eco Park Development Lot 7 – Hidden Valley / Twin Creeks Eco Park Development Lot 5 – Hidden Valley / Twin Creeks Eco Park Development Lot 210 – Rural Residential development Lot 206 – Rural Residential development Lot 203 – Rural Residential development
Existing Approvals:	See cover page
Public Notification:	23 October 2024 / 6 December 2024
Submissions received:	1 opposing submission 7 supporting submissions
State referrals:	SARA - Clearing Native Vegetation - Schedule 10, Part 3, Div 4, Table 2 & Table 3 SARA - State Transport Infrastructure - Schedule 20, Part 9, Div 4, Sub Div 1, Table 1

Infrastructure charges:	\$1,131,080.50
Planning Scheme	Whitsunday Regional Planning Scheme 2017 v3.9

2. Site Description

The development sites are located at the end of the Rifle Range Road reserve within the Preston locale. Access to the development is from Shute Harbour Road and Rifle Range Road. The development is known as the Hidden Valley Estate and has a total development area of 446.58ha. The area is rural residential development and the lower elevations adjacent to existing roadways with a backdrop of steeply vegetated hillsides with creeks, gullies, and existing logging trails. The Conway National Park adjoins the eastern and northern boundaries of the development area. Rural land adjoins to the west and south.

3. Proposal Details

The proposal is an Other Change application to an existing Preliminary Approval (PA) for the Fig Tree Falls Eco-Community in Preston. The applicant has acquired the land encompassing the PA and has a different vision for the development, being the Twin Creeks Eco Park.

The proposal is described as a PA that includes a Variation Request (to the Whitsunday Regional Planning Scheme 2017 v3.9) for Material Change of Use (MCU) and Reconfiguring of a Lot (ROL) to establish The Twin Creeks Eco Park Development Scheme (TCEPDS). The proposal also consists of a 74 lot rural residential subdivision to be known as Hidden Valley Stage 4 and 6.

In addition to the new uses proposed, the PA also intends to expand its area into Lot 25 on SP342157, a 336ha site that will contain most of the mainland tourism proposed.

It is also noted that TCEPDS does not override the zoning or supplementary components of the planning scheme. Overlay controls will be applicable to future development.

Preliminary Approval

To assist in understanding the key differences between the existing PA and the proposed changes, the applicant has provided the following comparison tables:

Table 1 – Approval Comparison

Current Controls	Desired Controls (Other Change)
Part A – Material Change of Use - Eco-Community (Integrated Resort/Residential Development) (185) Accommodation Units & Tourist Facilities; (191) Detached Dwellings; - Community Centre; - General Store and - Associated Community Facilities & Infrastructure	Part A – Material Change of Use New uses: - Tourist Park - Outdoor Sport and Recreation - Indoor Sport and Recreation - Community Uses - Food and Drink Outlet - Function Facility - Multiple Dwellings - Short Term Accommodation - Educational Establishment

	• Rooming Accommodation • Relocatable Home Park • Garden centre
Part B – Additional Subdivision Approval • Four (4) Lots into approximately two hundred and eighty-four (284) Lots	• Four (4) Lots into approximately two hundred and eighty-four (284) Lots; and • Development Permit for Four (4) lots into seventy-four (74) rural residential lots & four (4) balance lots
Part C – Environmentally Relevant Activity • Sewerage Treatment Plan (ERA No. 15B)	To be removed as sewerage reticulation not to be provided
Part D – Operational Works • Retaining Wall.	To be removed

The change application will result in the following development description:

The application seeks to provide three precincts over the development area in accordance with the Overall Masterplan:

- Precinct A – Tourism
- Precinct B – Villas
- Precinct C – Rural Residential.

The proposal seeks to provide the following additional uses as accepted development in the Rural Zone, exclusive to Precinct A and B:

- Garden centre

The following uses are Code Assessable when complying with the TCEPDS (and other development codes) in Precinct A only:

- Tourist park
- Food and drink outlet
- Relocatable home park
- Educational establishment.

Code Assessable when complying with the TCEPDS (and other development codes) in Precinct A and B only:

- Multiple dwelling
- Rooming accommodation
- Short-term accommodation
- Indoor sport and recreation
- Outdoor sport and recreation
- Function facility
- Veterinary services.

Precinct C is the Rural Residential areas, where all ROLs (including boundary realignments and easements) will be exclusively assessed against the TCEPDS:

- Precinct C (1) – Code Assessable for all lots 4,000m² or greater.
- Precinct C (2) – Code Assessable for all lots 3,000m² or greater.
- All other precincts and areas - Code Assessable for all lots 1ha or greater.
- Creation of easements is Code Assessable.

Variation Request

The application involves a Preliminary Approval (Variation Request) to enable the development to be subject to assessment against the Twin Creeks Eco Park Development Scheme (TCEPDS). The effect of the variation will be the varying of the levels of assessment for Material Change of Use and Reconfiguring of Lot, and for the assessment of the uses listed above to be against both the TCEPDS and the Whitsunday Regional Planning Scheme 2017 v3.9 where applicable.

Development Permits

The proposed development also seeks two development permits for ROL for Hidden Valley Estate Stage 4 and 6:

- Stage 4 – consists of 43 rural residential lots.
- Stage 6 – consists of 31 rural residential lots.

Stage 4

Stage 4 is located within Precinct C (1) of the Master Plan on the northern side of Rifle Range Road. Lots 423-431 will obtain access directly from Rifle Range Road, with all remaining lots accessed from a new internal road network, connecting to Rifle Range Road. The minimum lot size proposed for each lot in Stage 4 is 4,000m². Stage 4 is proposed in three stages:

- State 4A: Lots 400 – 419
- Stage 4B: Lots 420 – 431
- Stage 4C: Lots 432 – 443.

Stage 6

Stage 6 is located within Precinct C (2) of the Master Plan on the western side of Rifle Range Road prior to the entrance of the previously completed Stage 1 of Hidden Valley Estate. Lots 1 - 30 will be accessed from a new internal road network, connecting to Rifle Range Road. Lot 31 will be the only lot directly accessing Rifle Range Road. The minimum lot size proposed for each lot in Stage 6 is 3,000m². Stage 6 is proposed in three stages:

- State 6A: Lots 1, and 19 – 30
- Stage 6B: Lots 2 – 18 and drainage reserve
- Stage 6C: Lot 31.

Key Discussion: 3,000m² Rural Residential Lots

The applicant has advised in the supplied material that without the Stage 6 3,000m² allotment provisions within the TCEPDS, the entire Twin Creeks Eco Park mainland tourism venture will be unable to be completed including the trails, business, tourism and short-term accommodation facilities. Therefore, the applicant seeks that Council weighs the overall benefits of the proposed Twin Creeks Eco Park development against the provision of 3,000m² allotments within Stage 6 of the TCEPDS.

The application material proposes the suitability of the proposed mainland tourism development and the benefits such a proposal has to the region. The full list can be found the application material; however a key snapshot is below:

- 155 construction jobs over the 5-year construction period.
- 128 operational jobs over a 5-year operational period.
- Generate output (GRP) of \$21.25m pa in the operational phase.
- Will be operated in close collaboration with Gia/Ngaro Traditional Owners Reference Group Aboriginal Corporation including a \$2.2m Indigenous Ranger Program by Federal Government.
- Will address an identified gap in the region in terms of land-based sport and recreation opportunities.
- It is estimated between \$8-\$10m will be invested in the first 2 years of the Twin Creeks Eco Park. Comparably, the additional economic benefit gain by creating 'smaller' lots in Stage 6 is expected to be between \$800k - \$1m, being a 10:1 ratio between community investment and economic gain.
- The smaller and more affordable lots proposed within Stage 6 are designed to attract first home buyers, with house and land packages available under \$750k.
- Within the first 3 weeks of marketing, 21 of the 38 lots proposed were sold to mostly first home buyers or younger buyers with budget constraints.
- The mountain bike & walking trails are in close proximity to the 'Great Walk' and there is opportunity to connect Twin Creeks Eco Park with the Great Walk and ultimately the 'Skyway' development. All three uses are complementary and nature, and once connected, will become a large scale, nationally significant tourism attraction.

4. Planning Assessment

The assessment framework for a preliminary approval (variation request) is set out in section 61(2) of the *Planning Act 2016*, and must consider the following:

- a) The result of the assessment of that part of the application that is not the variation request;
- b) the consistency of the variations sought with the rest of the planning instrument to be varied;
- c) the effect the variations would have on submitters' rights for later development applications, particularly considering the amount and detail of information included in this application and made available to potential submitters; and
- d) any other matter prescribed by regulation.

Step	Description	PA section
1	Consideration of the Proposed Development (a) Council must assess against the assessment benchmarks in the Planning Scheme for the development. (b) Council must have regard to any other matter prescribed by regulation for section 45(5)(a) of the PA, which is listed in Schedule 10 of the <i>Planning Regulation 2017 (PR)</i> (per section 31 of the PR). This includes, relevantly:	45(5)

Step	Description	PA section
	(i) any development approval for, and any lawful use of, the premises or adjacent premises; (ii) the common material; (iii) the Mackay, Isaac and Whitsunday Regional Plan 2012; and (iv) the 2017 State Planning Policy. (c) Council may assess against or have regard to any other relevant matter, other than a person's personal circumstances (e.g. the development intends to provide a mainland tourism facility where there is an identified need for such a facility)	
2	Council must decide to approve all or part, approve all or part with conditions or refuse the Proposed Development, after carrying out the assessment at step 1.	60(3)
3	Consideration of the variation request: After steps 1 and 2 Council must consider: (a) The result of the assessment of the Proposed Development undertaken as step 1 (and the ultimate decision, being step 2). (b) The consistency of the proposed Twin Creeks Eco Park Development Scheme with the current planning controls for the Land under the Planning Scheme. (c) The fact that the variations sought propose to remove submission rights for later development applications for accommodation, tourism, recreational, limited business and community uses on the site. The proposed tables of assessment (Table 6.1 and 6.2) makes such development accepted or code assessable depending on the precinct. (d) The matters prescribed by section 32 of the PR, being relevantly: (i) the common material; (ii) the Mackay, Isaac and Whitsunday Regional Plan 2012; and (iii) the State Planning Policy (July 2017).	61(2)
4	Council must decide to approve all or some of the variations sought, or different variations from those sought, or refuse the variations sought.	61(3)

4.1. State Assessment and Referral Agency (SARA)

The Application was referred to SARA for Native Vegetation Clearing and State Transport Thresholds under:

- Schedule 10, Part 3, Division 4, Table 2 and 3 – Clearing Native Vegetation
- Schedule 20, Part 9, Div 4, Sub Div 1, Table 1 – State Transport Thresholds

SARA have provided a response with conditions. Conditions relate to the permissible clearing areas for the future MCU areas of the Twin Creeks Eco Park and the Stage 4 and 6 ROL and that clearing must be undertaken in accordance with the proposal plans.

4.2. State Planning Policy – July 2017

The State Planning Policy (SPP) includes interim development assessment requirements to ensure that State interests are appropriately considered by local government when assessing development applications where the local government Planning Scheme has not yet appropriately integrated all of the State's interests in the SPP. As the most recent SPP (July 2017) has not been reflected in the Whitsunday Regional Council Planning Scheme v3.9, Part B of the SPP confirms that it applies to the assessment of the development application. An assessment of the relevant State Interests is as follows:

State Interest – Liveable Communities and Housing

Despite offering various accommodation typologies, this theme is not applicable to the proposed development because it occurs outside of the urban area and does not propose urban services.

State Interest – Economic Growth

The SPP Framework for Economic Growth contains State Interest for Agriculture. The subject parcels are identified on the Scheme's Agricultural Land Overlay Map having the Class A and B Agricultural Land Classification. However, a review of the State Government agricultural audit overlays shows most of the land as Class D.

As the land within the existing PA boundaries is already approved for eco-tourism and rural residential development, and the new areas to be included within the PA boundaries is classified as Class D agricultural land, there is no conflict with this State Interest.

State Interest – Biodiversity

The SPP Framework for Environment and Heritage contains the State Interest for Biodiversity. Stage 4 contains a mapped green 'Moderate' watercourse on the northern boundary between Stage 3 and 4. This watercourse does not traverse any proposed allotments in Stage 4 and will be wholly contained within a road reserve in the approved Stage 3. A Stormwater Management Plan supports the proposal as well as a Hydraulic Impact Assessment to ensure minimisation of adverse impacts on environmental values of receiving waters.

The proposal aligns with this State Interest.

State Interest – Safety and Resilience to Hazards

The SPP Framework for Safety and Resilience to Hazards contains the State Interest for Natural Hazards, Risk and Resilience. This state interest is applicable due to the land being within an identified flood hazard area, bushfire hazard area and landslide hazard area. Specialty reports have been provided for each hazard, which includes recommendations on how to mitigate the potential impacts from hazards. The proposal aligns with this State Interest.

State Interest – Infrastructure

The proposal will not have an impact on the regional transport network. The existing road network servicing the development has capacity for the additional vehicle movements the development generates. DTMR have reviewed the proposal and have not required any additional upgrades to the Rifle Range Road / Shute Harbour Road intersection.

4.3. Mackay Isaac and Whitsunday Regional Plan – February 2012

The Mackay, Isaac and Whitsunday Regional Plan was established to provide the vision and direction for the region to 2031. The plan provides certainty about where the region is heading in the future and provides the framework to respond to the challenges and opportunities which may arise. The proposal is generally consistent with the provisions of the plan due to the overarching PA permitting eco-tourism and rural residential development over the site. No further assessment of the MIW Regional Plan is required.

4.4. Whitsunday Regional Council Planning Scheme, 2017

The assessment framework for a variation request is set out in section 61(2) of the Planning Act 2016, and must consider the following:

- The result of the assessment of that part of the application that is not the variation request;
- the consistency of the variations sought with the rest of the planning instrument to be varied;
- the effect the variations would have on submitters' rights for later development applications, particularly considering the amount and detail of information included in this application and made available to potential submitters; and
- any other matter prescribed by regulation.

Assessment of the Preliminary Approval against the WRCPS17 v3.9 provisions.

4.4.1. Strategic Framework

The Strategic framework sets the policy direction for the Planning Scheme and forms the basis for ensuring appropriate development occurs in the Planning Scheme area for the life of the Planning Scheme.

4.4.2. Strategic Intent

The Planning Scheme sets the policy direction to ensure that to 2036 and beyond the Whitsundays is a prosperous, liveable and sustainable region which will be achieved through the integration of the unique attributes and competitive advantages of each township. The Regions townships and communities have a strong and proud social identity linked to its key economic sectors. The promotion and protection of the regions environmental values is significant to the expressed identities, including the unique scenic values, which consist of key urban gateways, views and vistas. An assessment of the development against the key themes of the Strategic Intent is as followed:

Strategic Intent – Theme 1 - Liveable Communities and Housing

The proposal has apparent conflicts with the Liveable Communities and Housing theme, specifically Theme's 3, 6 and 7. The proposal contains urban uses that will be located outside of the urban footprint by some distance (approx. 7km to Cannon Valley) and proposes new rural residential lots that are expanding into rural areas not on the fringe of the urban area. Despite these conflicts, the overarching PA currently allows for eco-tourism accommodation, rural residential lots and various small urban uses that are required to support it. The proposed change to the PA intends to substantially expand the

scale of the tourism aspects to create a mainland tourism facility, which results in an increase in the scale of urban uses required to support the facility.

The focus of Theme 3 and 6 relates to the hierarchy of centres and that urban uses are only located out of the urban area due to their nature, scale, effects or necessary relationship to other activities or particular features, resources or infrastructure. Therefore, it is proposed that the additional new urban uses are required to support the new vision of the Twin Creeks Eco Park, essentially creating the required relationship support urban uses outside of the urban area. It is a reasonable assumption that through the creation of a mainland tourism facility focussing on mountain biking, there is a requirement for various accommodation typologies such as tourist parks and short-term accommodation. With the envisaged scale of the proposal, it is also reasonable to provide additional supporting business activities such as food and drink outlets or function facility, as is proposed.

Theme 7 relates to the expansion of rural residential areas being located on the fringe of the urban area and generally do not expand into adjacent rural areas. Through the provisions of the existing PA (prior to the current application), the applicant has created the Hidden Valley Estate which is not within the fringe of the urban area. Given the existence of the estate which has development permits up to Stage 3 that facilitate rural residential development, it is accepted that additional rural residential development is appropriate, provided it is commensurate to the Scheme.

However, the TCEPDS proposes a minimum lot size of 3,000m² in Precinct C2 which encompasses Stage 6. The proposed 3,000m² lot size is a substantial departure from the Scheme and the proposal has not been supported by any planning need or economic need reporting that supports the viability of sub-4,000m² lot sizes at such a distance away from the urban area. Rural residential is a lifestyle product with lot sizes intended to protect the amenity and semi-rural living experience. Lots at 3,000m² have not been demonstrated to be a true rural residential product.

This departure from the Scheme is unable to be supported as there is an inherent conflict with the Theme 1, which seeks to ensure new Rural residential areas are on the fringe of the urban area, which the proposal does not achieve by some distance and is further exacerbated by the introduction of 3,000m² lot sizes.

The proposal is unable to comply with Theme 1.

Strategic Intent – Theme 2 - Economic Growth

The economic growth theme aims to protect and enhance the economic resilience, wealth creating and employment generating capacities of the Region's key sectors. As indicated by the applicant, the proposed Twin Creeks Eco Park has the potential to be a significant employment and tourism generator for the region, which can be considered as under supplied in mainland tourism activities. With Stage 1 of the Twin Creeks Eco Park mountain bike trail network approved and the proposed expansion of the trail network which will be permitted through this PA, the additional tourism accommodation and related activities are located away from the urban area to directly support the mainland tourism venture proposed through this application. This is furthered as the land is not suitable for agriculture as assessed in the State Interest for Economic Growth.

The proposal aligns with Theme 2.

Strategic Intent – Theme 3 - Environment and Heritage

The environment and heritage theme seeks to protect the region's cultural heritage and environmental values for the future. The development has been supported by a Relevant Purpose determination under section 22A of the *Vegetation Management Act 1999* for the clearing of native vegetation over the subject premises. The determination has been issued by the Department of Resources (DoR) and approves the clearing of vegetation for the purpose of the proposed development. This demonstrates that the development can be provided in a sustainable manner that will not detrimentally impact the long-term environmental value of the area. SARA have provided a referral response which approves the proposed clearing areas as the development:

- avoids clearing, or where avoidance is not reasonably possible, minimises clearing to conserve vegetation, avoid land degradation, avoid the loss of biodiversity, maintain ecological processes
- avoids impacts on vegetation and minimises and mitigates impacts on vegetation where avoidance is not possible
- does not result in a significant residual impact on a matter of state environmental significance.

The proposal aligns with Theme 3.

Strategic Intent – Theme 4 - Safety and Resilience to Hazards

The development area is identified to be within a flood hazard area, bushfire hazard area and landslide hazard area. Speciality reports have been provided for each hazard, which include recommendations on how to mitigate the potential impacts from hazards. All land subject to 1%AEP flooding is identified to be placed under easement. A Bushfire Management Plan for each ROL application has been provided and also specifies clear recommendations for fire management. Geotechnical reporting provided also contains recommendations for any future construction activities.

The proposal aligns with Theme 4.

Strategic Intent – Theme 5 – Infrastructure

The proposal will not impact Council's ability to supply infrastructure to the region. All proposed on-site infrastructure will be privately owned and provided on-site.

The proposal aligns with Theme 5.

4.4.3. Overlay Codes (PA)

Section 5.4 of the Twin Creeks Eco Park Development Scheme outlines where lots are identified within an Overlay in accordance with the Planning Scheme in effect, assessment against the relevant Overlay Code of said Planning Scheme will continue to apply. No variations to the codes are proposed. An assessment against each applicable overlay has been provided to address the suitability of the site for the intended development. An additional overlay assessment is provided further in the report, which assesses the development permit requests against the applicable overlays.

Agriculture Land Overlay

The subject parcels are identified on the Scheme's Agricultural Land Overlay Map having the Class A and B Agricultural Land Classification. However, a review of the State Government agricultural audit overlays shows most of the land as Class D.

As Council has already approved the land for eco-tourism and rural residential development under the overarching PA, and Lot 25 (expansion area) consists of land generally unsuited to agriculture, there is no conflict with the Agriculture Land Overlay.

Bushfire Hazard Overlay

Both applications for Stage 4 and 6 have been supported by a Bushfire Management Plan. Each plan provides recommendations of how fire management should be undertaken across the rural residential sites. The report identifies that no part of the proposed development area is at an unacceptable risk to bushfire.

Environmental Significance Overlay (ESO)

As discussed within the Strategic Intent assessment of the Environment and Heritage theme, SARA and DoR have assessed the vegetation clearing aspects and have provided an approval subject to a plan that identifies the permitted clearing areas in Stage 4 and the balance of the PA area subject to development. Therefore, it is concluded that the development avoids significant impacts on Wildlife habitat and Regulated vegetation and complies with the overlay.

Flood Hazard Overlay

A Flood Investigation has been undertaken for both all areas with the proposed PA boundaries which will be used to inform future development applications under the PA. The investigation identifies developable land across all present and future development areas and will inform the level of infrastructure required to develop the land. The investigation does not identify any constraints that cannot be overcome through engineering, which suggests the site can be developed appropriately.

Landslide Hazard Overlay

Geotechnical reporting was completed for Stage 4 as it has the most areas mapped for the hazard. The report provides clear recommendations for future construction in the hazard area, which is acceptable.

Waterways and Wetlands Overlay

On the fringe the development boundaries are mapped waterways located predominantly in the adjacent Conway National Park. As no development is proposed on the mapped waterways, the development remains compliant with the benchmarks. Future applications for the trail network will need to consider the mapped waterways in the design.

4.4.4. Rural Zone Code (PA)

The proposal seeks to vary the effect of the Rural zone code and replace it with the Twin Creeks Eco Park Development Scheme (TCEPDS). The consistency of the proposal with the zone code has been assessed below.

Despite the site having land mostly unsuited to agriculture as assessed in the Agricultural overlay assessment, the proposed development is inconsistent with the Rural zone code as it provides for uses that are incompatible with agriculture and seeks to make many rural uses impact assessable, which is a direct conflict the purpose and intent of the Rural zone.

4.4.5. Rural Residential Zone Code (PA)

Regard has been had to the Rural residential zone code as Stage 6 is not semi-rural in nature or developed as a logical extension, infill or consolidation of existing rural residential zoned land. This weighs against the variation of 3,000m² lots.

4.4.6. Development Codes

The application does not intend to vary any of the use codes for Material Change of Use and only replaces the Zone code and ROL provisions with the TCEPDS Overall outcomes and Development code respectively. Assessment against the TCEPDS variations is in Section 5.

Assessment of the Development Permits against the WRCPS17 v3.9 provisions.

4.4.7. Overlay Codes (Development Permits)

Agriculture Land Overlay

The subject parcels are identified on the Scheme's Agricultural Land Overlay Map having the Class A and B Agricultural Land Classification. However, a review of the State Government agricultural audit overlays shows most of the land as Class D.

As Council has already approved the land for eco-tourism and rural residential development under the overarching PA, and Lot 25 (expansion area) consists of land unsuited to agriculture, there is no conflict with the Agriculture Land Overlay.

Bushfire Hazard Overlay

Both applications for Stage 4 and 6 have been supported by a Bushfire Management Plan. Each plan provides recommendations of how fire management should be undertaken across the rural residential sites. Council's Environment Officers have reviewed the reports and have advised that there are some discrepancies in the assessment and categorisation of certain fire hazards. To overcome the identified flaws in the reporting, conditions of approval have been recommended to ensure compliance with the overlay. The conditions relate to the provision of additional firebreaks and a covenant on proposed Lot 38 in Stage 6. The development can be conditioned to comply with the overlay.

Environmental Significance Overlay (ESO)

The Stage 6 development area is not subject to the ESO. Stage 4 contains the Regulated vegetation in the northeast corner of the lot with the balance of the lot being unmapped.

Refer to PA overlay assessment in Section 4.4.3.

Flood Hazard Overlay

A Flood Investigation has been undertaken for both Stage 4 and 6. The investigation has modelled the required infrastructure to support the development up the 1%AEP scenario for both pre and post development. Areas subject to 1%AEP are to be placed under easement, which includes all overland flow paths. The floor reporting was utilized to inform the level of infrastructure required for the development, which has been assessed as compliant with the Development Manual.

Landslide Hazard Overlay

The northwest corner of Stage 6 is subject to the overlay. This is the location of Lot 31 which is proposed to have an environmental covenant on the entire steep vegetated area. A building footprint for Lot 31 exists outside of the mapped hazard area. Further, the refined Landslide mapping from the Whitsunday Landslide Study 2019 shows lesser extents of the mapped hazard in the area of Lot 31. A condition of approval could be applied to that requires a geotechnical report to be provided prior to plan sealing for Stage 6.

A Geotechnical Investigation has been supplied in support of the development application for Stage 4 (has been mis-labelled Stage 2 in the material). The report provides a geotechnical engineering and landslide risk assessment as well as risk mitigation strategies. The report advises that the overall risk profile of Stage 4 is Low, provided the recommended measures of the report are implemented.

Waterways and Wetlands Overlay

Refer to PA overlay assessment in Section 4.4.3.

4.4.8. Rural Zone Code (Development Permits)

The proposal is inconsistent with the provisions of the zone as it provides for uses that are incompatible with agriculture and seeks to make many rural uses impact assessable, which is a direct conflict the purpose and intent of the Rural zone.

4.4.9. Rural Residential Zone Code (Development Permits)

Regard has been had to the Rural residential zone code as Stage 6 is not semi-rural in nature or developed as a logical extension, infill or consolidation of existing rural residential zoned land. This weighs against the proposal for Stage 6.

4.4.10. Development Codes

Two Reconfiguration of a Lot permits have been applied for and an assessment against the Planning Scheme is provided below:

Reconfiguring a Lot Code

Stage 4

Stage 4 lot sizes range from 3188m² to 20466m² which means the proposed lot sizes do not comply with AO1.1 of the code as they do not achieve 100ha. Stage 4 contains 9 lots beneath 4,000m², which is not only in conflict with the Rural and Rural residential zone

lot size provisions of the Scheme but also conflicts with the Precinct C Overall outcome (a) in the TCEPDS where lots within Precinct C1 must achieve 4,000m².

Stage 6

Stage 6 lot sizes range from 3,001m² to 38,886m² which means the proposed lot sizes do not comply with AO1.1 of the code as they do not achieve 100ha, nor do they achieve 4,000m². Only lot 38 is above 4,000m² in Stage 6, with the remaining lots being between 3,001m² and 3,824m². The applicant has provided an additional development plan that depicts the smallest lots with burdened land (easements) can achieve a minimum 3,000m² building envelope, to provide further merit that all proposed lots are suitable for its intended purpose of a dwelling. It is acknowledged that a buildable area of 2,000m² is available in each lot within Stage 6, but it does not override the overall provisions of the code and zoning.

Although there are 2 out of 37 existing lots in the existing stages of Hidden Valley below 4,000m², they are not the prevailing character of the area and do not weigh in favour of approval.

The reasons for refusal of the ROL code are the following:

- The proposal conflicts with AO1.1 and AO1.2 of the Reconfiguring a lot code as the minimum lot sizes and dimensions are below those specified in Table 9.4.7.3.2.
- The proposal conflicts with PO1 (a) and (b) as the lot sizes are not appropriate for the intended use of semi-rural living nor compatible with the prevailing character and density of surrounding development.
- The proposal conflicts with overall outcome 2(a)(i) and (iii) of the Reconfiguring a lot code as the lot sizes are not appropriate for the intended use of semi-rural living nor compatible with the prevailing character and density of surrounding development.

Landscaping Code

The rural nature of both Stage 4 and 6 does not necessitate additional landscaping placements, as the sites benefit from existing vegetation on and surrounding the land.

Excavation and Filling Code

The supporting Engineering Report demonstrates future construction activities can be undertaken in accordance with the Planning Scheme.

Infrastructure Code

A Land Suitability Assessment for On-site Wastewater Treatment and Effluent Disposal Report by CQ Soil Testing was supplied with the application material for both stages. The Stage 4 report demonstrates that each proposed lot can be serviced with an effluent disposal system in accordance with the Queensland Plumbing and Wastewater Code, sized for a 4-bedroom dwelling.

Of particular importance is the design for Stage 6, which is proposing smaller allotments than envisaged for the rural residential environment. An effluent suitability report was undertaken on the original Stage 6 design which had 39 lots as opposed to the current 31 lots. No revised report was undertaken for the proposal with 31 lots. The original design with 39 lots appeared to have sufficient space for an effluent disposal system on each lot which indicates the current proposal with larger lot sizes would be the same.

As outlined in the Transport and Parking code assessment below, Stage 6 is proposed with urban road infrastructure, including curb and channel drainage and stormwater quality improvements in the form of bio-pods in the roadway. Due to being within a non-serviced area for water, roof water will be retained and re-used from the roofs for domestic use and irrigation of landscaping. This means that nutrient load reduction has only been undertaken for the roadways, which is acceptable in a rural residential setting. Review of the accompanying music model reveals the Stage 6 water quality treatment devices will achieve the nutrient reduction targets of the WRC Stormwater Quality Guideline.

Some lots in Stage 6 do not drain to the road due to a ridge through the site and instead drain formalised table drains contained in appropriately sized stormwater easements. Where allotments do not drain directly to a stormwater drain or roadway, inter allotment cut off drains will be provided to ensure nuisance flows to lower properties are diverted, to a 1% AEP capacity.

Transport and Parking Code

Stage 4

All roads in Stage 4 comply with the Development Manual, with the exception of Rifle Range Road, which as proposed does not have a table drain on the southern side of the road. The consulting engineer has advised the reason for this as follows:

There is no table drain proposed on the southern (downstream side) of rifle range road as the catchment is limited to half the roadway only. There are no external catchments and therefore the table drains are not required. The half road will sheet flow south as occurs currently. The creation of table drains would serve no purpose other than add additional infrastructure for WRC to maintain and concentrate flows. In addition table drains are typically provided to ensure the pavement material are drained. As rifle range road is in fill on the southern side, no table drains are needed for that purpose.

The reasoning for an alternative design for Rifle Range Road has been accepted by Council's Infrastructure Directorate.

Swept-path templates demonstrate the overall suitability of the roads as acceptable to receive vehicles up to 19m in length, including a sighting distance assessment on all intersections, all of which achieve compliance with AustRoads.

Stage 6

Roads to be supplied for Stage 6 are above the minimum requirement for the zone as it is intended to supply the site with an urban road environment, including curb and channel and stormwater quality improvement devices. Urban roads have been proposed to remove consumptive table drain construction and ongoing drain maintenance. Due to the adoption of kerb and channel and deletion of table drains, the proposed road reserve width is proposed to be reduced to 18m. The 2m reduction results from the loss of 1m sealed shoulders on each side of the 8m formation.

5. Assessment of Variations

The purpose of the Development Code is to detail relevant planning and design provisions that will apply to the future development of the site. The TCEPDS is not intended to vary all aspects of the current planning scheme, only that stated. Where not included in the Development Code, the relevant provisions of the Scheme shall apply. The Development

Code is generally consistent with the Whitsunday Regional Council Planning Scheme 2017 in terms of terms used and structure. The TCEPDS also uses the same definitions but has included more land use examples of what the defined use could be to provide additional flexibility for the developer. The additional land use examples align with the definition and are therefore considered acceptable.

Tables of Assessment and Categories of Development

The Preliminary Approval (Variation request) does not intend to vary any of the use codes for Material Change of Use and only replaces the Zone code and ROL provisions with the TCEPDS Overall outcomes and Development code respectively. The structure of the TCEPDS is a suitable alternative for the zone overall outcomes and the development code for Reconfiguring a Lot of the Planning Scheme to provide development specific benchmarks.

The TCEPDS provides suitable overall outcome provisions that relate to the intent of the development and provide clear benchmarks to achieve the intended development purpose which will guide future assessment of an application for a development permit. The Performance Outcomes of the TCEPDS provide the opportunity for a development permit application that may result in a different layout to what is proposed currently, such as the proposed allotments could be either larger or smaller. This could be appropriate if it was agreed that 3,000m² lot provisions were appropriate, however this is not the case.

Minimum Lot Size

The key Planning Scheme non-compliance is the proposal's non-compliance with the Reconfiguring a Lot Code's minimum lot size for the Rural zone, which is intrinsically linked to the purpose of the Rural zone which is to provide for rural uses, all of which are Impact assessable under the TCEPDS. This lot size is also unsupported in the Rural residential zone. The minimum lot size non-compliance also directly relates to the Liveable Communities and Housing theme of the Strategic intent.

No supporting economic or need analysis has been provided that demonstrates a need for sub-4,000m² lot sizes and therefore there is no additional planning assessment that can be undertaken that provide support for lots beneath 4,000m². Rural residential is a lifestyle product with lot sizes intended to protect the amenity and semi-rural living experience. Lots at 3,000m² have not been demonstrated to be a true rural residential product and therefore support for this lot size is not provided.

Council may also consider any other relevant matter in its assessment of the proposed development under step 1 per section 45(5)(b) of the PA. In this case, the applicant provides the following community & economic benefit justifications for approval:

- 155 construction jobs over the 5-year construction period.
- 128 operational jobs over a 5-year operational period.
- Generate output (GRP) of \$21.25m pa in the operational phase.
- Will be operated in close collaboration with Gia/Ngaro Traditional Owners Reference Group Aboriginal Corporation including a \$2.2m Indigenous Ranger Program by Federal Government.
- Will address an identified gap in the region in terms of land-based sport and recreation opportunities.
- It is estimated between \$8-\$10m will be invested in the first 2 years of the Twin Creeks Eco Park. Comparably, the additional economic benefit gain by creating

'smaller' lots in Stage 6 is expected to be between \$800k - \$1m, being a 10:1 ratio between community investment and economic gain.

- The smaller and more affordable lots proposed within Stage 6 are designed to attract first home buyers, with house and land packages available under \$750k.
- Within the first 3 weeks of marketing, 21 of the 38 lots proposed were sold to mostly first home buyers or younger buyers with budget constraints.
- The mountain bike & walking trails are in close proximity to the 'Great Walk' and there is opportunity to connect Twin Creeks Eco Park with the Great Walk and ultimately the 'Skyway' development. All three uses are complementary and nature, and once connected, will become a large scale, nationally significant tourism attraction.

Whilst the benefits of the wider project are understood and supported, the conflict with the minimum lot size requirement is a significant matter and one which weighs against the proposal. As the lot size matter is not one which the applicant is tied to as a result of any physical constraint to the land or any other impediment the provisions of the scheme and the strategic purpose for the rural residential zone should be maintained and not varied.

Submission Rights

Section 61(2)(c) of the Planning Act 2016 requires the assessment manager to consider the effect of the variations on submission rights for later development applications. The TCEPDS will not provide the opportunity for submissions to be made against future development applications made under the Development Code, except rural uses or ROL proposals beneath the lot size. The explanatory notes of the Planning Bill 2015 detail the purpose of s61(2)(c) is to ensure that adequate information is available in the preliminary approval (variation request) for the public to be able to form a reasonable opinion of the proposed development. It is considered the application made to Council clearly details the vision for the site which will guide the future development. The development application contains adequate proposal information via plans of future development areas and a detailed proposed development code for the public to form an informed view.

6. Public Submissions

The development application was placed on public notification between 23 October 2024 and 6 December 2024 in accordance with the relevant provisions of the Planning Act 2016. The Notice of Compliance was received on 13 December 2024. Seven submissions in support of the proposal were received and one opposing submission received during this period of Public Notification.

Opposing submissions have been received and summarised in the below table:

Issue	Comment/Condition Number
1. Rifle Range Road	Concern regarding the safety of Rifle Range Road due to traffic hazards such as blind corners, concealed driveways and blind crests on hills. The submission also states the road is not wide enough to cater for the increased number of trucks and caravans. Further concerns are raised regarding the intersection safety at Shute Harbour Road.

	Department of Transport and Main Roads has reviewed the application and specified no upgrades to the intersection of Rifle Range Road / Shute Harbour Road. If the application were to be approved, there will be further opportunities to assess Rifle Range Road in terms of upgrade requirements based on traffic generation.
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7. Infrastructure Charges**7.1. Adopted Infrastructure Charges Resolution**

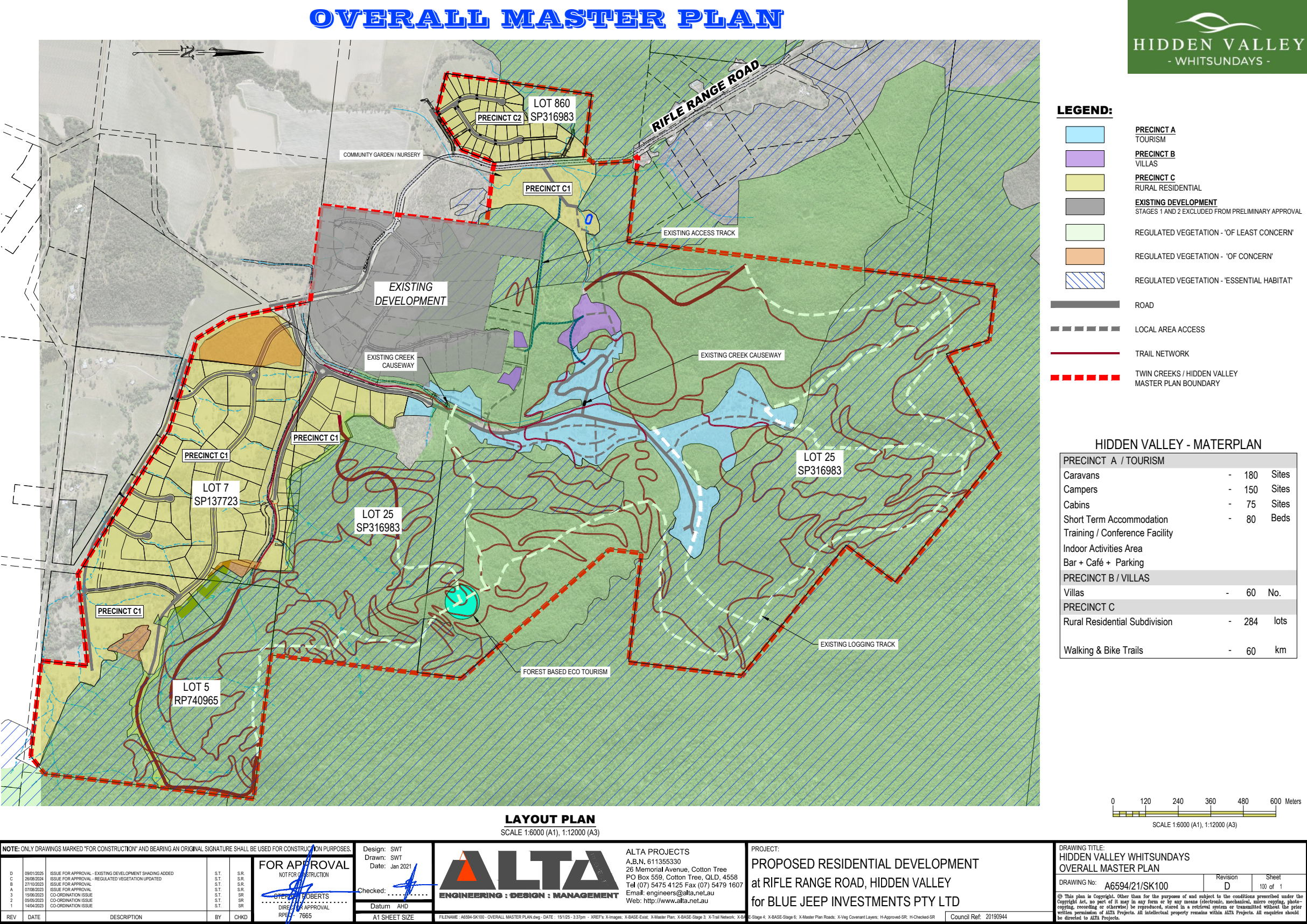
The following is a breakdown on the Infrastructure Charges for the development:

Stage 4:

Adopted Charge					
Type of Development	Development Category	Demand Unit & Qty	Charge Rate		Adopted Charge
ROL	Residential	43	\$34,452.65		\$1,481,463.95
Total Adopted Charge					\$1,481,463.95
Credit					
Type of Development	Development Category	Demand Unit & Qty	Charge Rate	Discount	Total Credit
Existing	Residential	1	\$34,452.65	100%	\$34,452.65
ROL	Water	43	\$34,452.65	30%	\$444,439.18
ROL	Sewer	43	\$34,452.65	27%	\$399,995.26
Total Credit					\$878,887.09
Total Levied Charge					\$602,576.86

Stage 6:

Adopted Charge					
Type of Development	Development Category	Demand Unit & Qty	Charge Rate		Adopted Charge
ROL	Residential	31	\$34,452.65		\$1,068,032.15
Total Adopted Charge					\$1,068,032.15
Credit					
Type of Development	Development Category	Demand Unit & Qty	Charge Rate	Discount	Total Credit
Existing	Residential	1	\$34,452.65	100%	\$34,452.65
ROL	Water	30	\$34,452.65	30%	\$310,073.85
ROL	Sewer	30	\$34,452.65	27%	\$279,066.46
Total Credit					\$623,592.96
Total Levied Charge					\$444,439.19





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Twin Creeks Eco Park Development Scheme (v3.2)

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1.0 Introduction to the Development Scheme

1.1 Overview

This Development Scheme is to be described as the '*Twin Creeks Eco Park Development Scheme*', '*TCEPDS*' or '*the Development Scheme*'.

The *TCEPDS* seeks to vary certain aspects of the *Whitsunday Regional Council Planning Scheme 2017* to create a unique masterplan that will deliver a property diverse rural living lifestyle, offering exciting new opportunities for tourism and accommodation in the Whitsundays Region.

1.2 Site Details

The Development Scheme applies to the following real property descriptions –

Lot Number	Registered Plan
25	SP342157
7	SP137723
5	RP740965
210	SP332143

An excerpt of the Plan of Development to which this Development Scheme applies has been provided overleaf.

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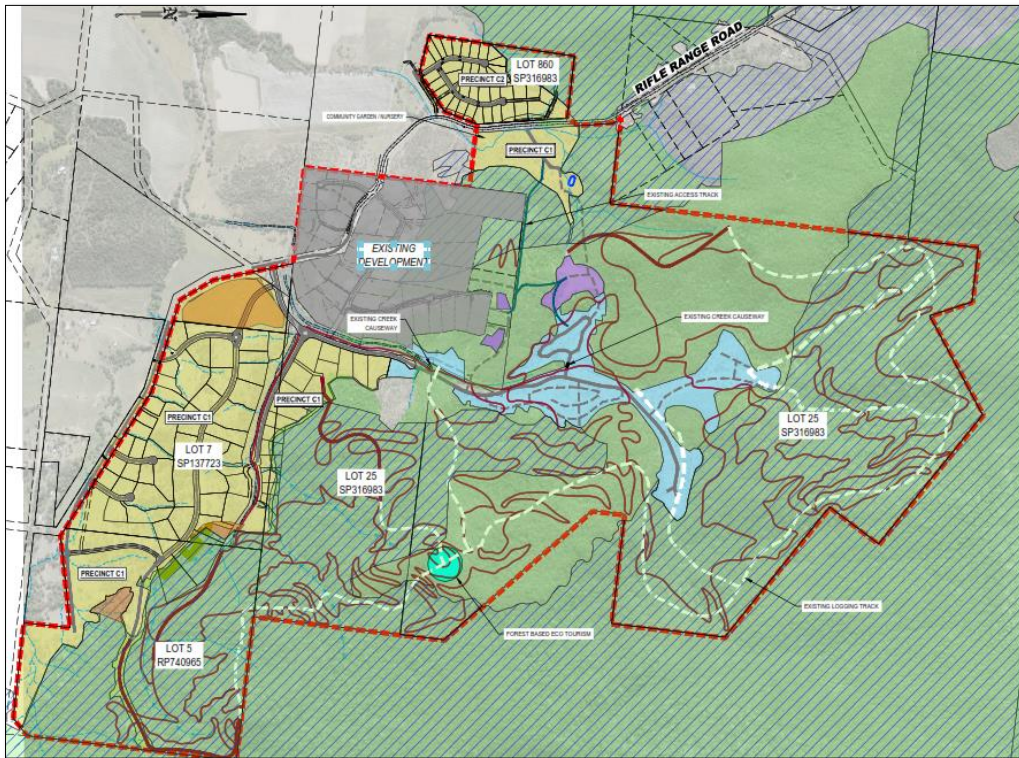


Figure 1: Twin Creeks Eco Park Plan of Development



2.0 Interpretation

This Development Scheme is to be interpreted as if it were a code within the *Whitsunday Regional Planning Council Scheme 2017*. Any future Material Change of Use or Reconfiguring a Lot is to be assessed in accordance with the provisions of the *Twin Creeks Eco Park Development Code*, where applicable. The TCEPDS should be read in conjunction with the Plan of Development Provided (POD) by Alta Engineering. The POD anticipates the general scale, design, and mixture of uses within each precinct. It is important to note the POD is conceptual only and further detail design and investigation will be required with each downstream MCU or ROL development application made. Further, the precinct boundaries are not 'fixed' and may be subject to change in line with specific development requirements at development permit stage.

Where there is inconsistency between the *TCEPDS* and the *Whitsundays Planning Scheme* in effect, this Development Scheme prevails. Where aspects are not covered within the *TCEPDS*, the relevant provisions of the *Whitsundays Planning Scheme 2017* (version 3.9) shall apply.

For ease of interpretation, this Development Scheme has utilised the same definitions as those contained within the *Whitsunday Regional Council Planning Scheme 2017*. Whilst the use definitions (Column 2) have not been changed, the listed examples (Column 3) have been expanded to specifically reference the uses proposed on the Twin Creeks Eco Park POD. These additional listed examples are shown in bold in Section 3 overleaf.



3.0 Definitions

The following use definitions have been provided specifically for the purpose of this Development Scheme.

Table 3.1 – Table of Definitions

Use	Definition	Examples
Tourist Park	Premises used to provide for holiday accommodation in caravans, self-contained cabins, tents or other similar structures. Where ancillary the use may include amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors or staff accommodation.	Camping ground, caravan park, holiday cabins, safari tents, bell tents, day spa, health retreat
Outdoor sport and recreation	Premises used for a recreation or sport activity that is carried on outdoors and requires areas of open space. Where ancillary the use may include providing and selling of food and drink, change room facilities or storage facilities	Driving range, golf course, swimming pool, tennis courts, football ground, cricket oval, mountain bike park / trails, pump track, walking trails, disc golf course, ropes course
Indoor sport and recreation	Premises used for leisure, sport or recreation conducted wholly or mainly indoors.	Amusement parlour, bowling alley, gymnasium, squash courts, enclosed tennis courts
Community use	Premises used for providing artistic, social or cultural facilities or community services to the public. The ancillary use may include the preparation and selling of food and drink.	Art gallery, community centre, community hall, library, museum
Food and Drink Outlet	Premises used for preparation and sale of food and drink for consumption on or off the premises. Where ancillary the use may include the sale of liquor for consumption on premises.	Bistro, café, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, takeaway, tea room, transportable food and drink vans, clubhouse, tavern, lodge, camp kitchen
Function Facility	Premises used for receptions or functions that may include the preparation and provision of food and liquor for consumption on premises as part of a reception or function.	Conference centre, reception centre, marquee
Multiple Dwellings	Residential use of premises involving three or more dwellings, whether attached or detached, for separate households.	Apartments, flats, units, townhouses, row housing, triplex, villas, eco houses
Short-term Accommodation	Apartments, flats, units, townhouses, row housing, triplex	Motel, backpackers accommodation, cabins, serviced apartments, hotel, farm stay, villas, eco houses, Airbnb



Educational establishment	Premises used for training and instruction to impart knowledge and develop skills. Where ancillary the use may include student accommodation, before or after school care or vacation care.	College, outdoor education centre, primary school, secondary school, special education facility, technical institute, university
Rooming Accommodation	Premises used for residential accommodation, if each resident— • has a right to occupy 1 or more rooms on the premises; • does not have a right to occupy the whole of the premises; • does not occupy a self-contained unit, as defined under the Residential Tenancies and Rooming Accommodation Act 2008, schedule 2, or has only limited facilities available for private use; and • shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises. Where ancillary the use may include a manager's residence, an office or providing food or other services to residents.	Hospice, community residence, dwelling house, short-term accommodation, multiple dwelling, accommodation, school or sport groups, student accommodation
Relocatable Home Park	Premises used for relocatable dwellings for long-term residential accommodation. Where ancillary the use may include a manager's residence, amenity facilities, food and drink outlets, or recreation facilities for the exclusive use of residents.	



4.0 Purpose

The purpose of this Development Scheme is to detail relevant planning provisions that will apply to the future development of the site. The *TCEPDS* is not intended to vary all aspects of the current planning scheme, only that stated. More specifically, the scheme provides an approval framework including Levels of Assessment, Performance Outcomes/Acceptable Outcomes detailing -

- Plan of development providing guidance on spatial aspects of the Code;
- The type of development which may occur;
- Relevant benchmark criteria (codes) against which development applications will be assessed; and
- How the Development Code will vary the *Whitsunday Regional Council Planning Scheme 2017*.

The Development Code seeks to deliver on the higher order provisions of the Scheme through the facilitation of a unique community that will deliver a diverse rural living lifestyle, offering exciting new opportunities for tourism in the Whitsunday Region.



5.0 Assessment Provisions

5.1 Development Type

Any future proposed Material Change of Use or Reconfiguring a Lot is to be assessed in accordance with the Table of Assessment specified within Section 6.0 of this Development Scheme. Note Operational Works and Building Works applications have been deliberately omitted from the development scheme and will continue to be assessed against the planning scheme, with no changes to the relevant assessment benchmarks or levels of assessment.

5.2 Hierarchy of Assessment Benchmarks

Where there is an inconsistency between provisions in the Planning Scheme and the TCEPDS, the following rules apply:

- (a) the TCEPDS prevails over all other components to the extent of the inconsistency for all levels of assessment;
- (b) relevant codes as specified in Schedules 6 and 10 of the Regulation prevail over all other components to the extent of the inconsistency;
- (c) overlays prevail over all other components (other than the matters mentioned in (a) and (b)) to the extent of the inconsistency;
- (d) local plan codes prevail over zone codes, use codes and other development codes to the extent of the inconsistency;
- (e) zone codes prevail over use codes and other development codes to the extent of the inconsistency; and
- (f) provisions of Part 10 (Other plans) may override any of the above, except for item (a).

5.3 Applicable Assessment Benchmarks

Where Reconfiguring a Lot or Material Change of Use is proposed, the development will be assessed against the following:

- Material Change of Use – Purpose (Section 7.1), Overall Outcomes (Section 7.2) and relevant Planning Scheme Codes
- Reconfiguration of a Lot – Entire *Twin Creeks Eco Park Development Code* (Sections 7.1-7.3)

5.4 Overlays

Where lots are identified within an Overlay in accordance with the Planning Scheme in effect, assessment against the relevant Overlay Code of said Planning Scheme will continue to apply.

5.5 Infrastructure Charges

Infrastructure Charges will apply to future development in accordance with the Whitsunday Regional Council's charging regime at the time of the Decision Notice being issued.



6.0 Table of Assessment

The following Table of Assessment replaces Part 5 of the current *Whitsundays Planning Scheme 2017*, and identifies the applicable level of assessment and associated benchmark criteria for future development in accordance with this Preliminary Approval.

Table 6.1 – Table of Assessment (Material Change of Use)

Rural Zone		
Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
MATERIAL CHANGE OF USE		
Accommodation activities		
Caretaker's Accommodation	Accepted development if complying with the acceptable outcomes of the applicable code(s)	Caretaker's accommodation code
	Otherwise code assessment	Caretaker's accommodation code Rural zone code Infrastructure code
Dwelling house	Accepted development if complying with the acceptable outcomes of the applicable code(s)	Dwelling house code
	Otherwise code assessment	Dwelling house code Rural zone code
Home based business	Accepted development if complying with the acceptable outcomes of the applicable code(s)	Home based business code
	Otherwise code assessment	Home based business code Low density residential zone code Infrastructure code
Multiple dwelling	Code assessment where within Precinct A or B, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Multi-unit uses code Infrastructure code Landscaping code Transport and parking code
Rooming accommodation	Code assessment where within Precinct A or B, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Multi-unit uses code Infrastructure code Landscaping code Transport and parking code
Short-term accommodation	Code assessment where within Precinct A or B, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Multi-unit uses code Infrastructure code Landscaping code Transport and parking code
Tourist park	Code assessment where within Precinct A, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Relocatable home park and tourist park code Infrastructure code

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		Landscaping code Transport and parking code
Relocatable Home Park	Code assessable if within Precinct A, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Relocatable home park and tourist park code Infrastructure code Landscaping code Transport and parking code
All other Accommodation activities	Impact assessment	The Planning Scheme
Business activities		
Food and drink outlet	Code assessment where within Precinct A, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
Veterinary services	Code assessment where within Precinct A or B, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
All other Business activities	Impact assessment	The Planning Scheme
Entertainment activities		
Function facility	Code assessment where within Precinct A or B, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
All Entertainment activities	Impact assessment	The Planning Scheme
Community activities		
Community use	Accepted development if undertaken by or on behalf of the Council	
	Otherwise code assessment	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
Educational establishment	Code assessment where within Precinct A, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
Emergency services	Accepted development if undertaken by or on behalf of the Council	
	Otherwise impact assessment	The Planning Scheme
All other Community activities	Impact assessment	The Planning Scheme
Recreation activities		
Park	Accepted development	

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Indoor sport and recreation	Code assessment where not within Precinct C, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Landscaping code Transport and parking code
Outdoor sport and recreation	Code assessment where not within Precinct C, otherwise Impact Assessable.	Purpose & Overall Outcomes of the Twin Creeks Eco Park Development Scheme (Section 7.1 -7.2) Business activities code Infrastructure code Transport and parking code
All other Recreation activities	Impact assessment	The Planning Scheme
Rural Activities		
Animal husbandry	Impact assessment	The Planning Scheme
Animal keeping	Impact assessment	The Planning Scheme
Aquaculture	Impact assessment	The Planning Scheme
Cropping	Impact assessment	The Planning Scheme
Garden Centre	Accepted development if complying with the acceptable outcomes of the applicable codes(s) and within Precinct A or B, otherwise Code Assessable.	Rural activities code Transport and parking code
Intensive animal industry	Impact assessment	The Planning Scheme
Intensive horticulture	Impact assessment	The Planning Scheme
Roadside stall	Accepted development if complying with the acceptable outcomes of the applicable code(s), otherwise Code assessment.	Rural uses code
Rural industry	Impact assessment	The Planning Scheme
Wholesale nursery	Accepted development if complying with the acceptable outcomes of the applicable codes(s) and within Precinct A or B, otherwise Code Assessable.	Rural activities code Transport and parking code
All other rural activities	Impact assessable	
Undefined uses		
Any use not defined in Schedule 1 (Definitions) or Table 3.1 of the TCEPDS	Impact assessment	The Planning Scheme
<i>All other uses do not form part of this development code and are as per the Whitsunday Regional Council Planning Scheme in force at the time.</i>		



Table 6.2 – Table of Assessment (Reconfiguring a Lot)

RECONFIGURING A LOT		
Precinct	Categories of development and assessment	Assessment benchmarks for assessable development
All other precincts and areas	Code Assessable for all lots 1ha or greater, otherwise Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
Precinct C (1)	Code Assessable for all lots 4,000m ² or greater, otherwise Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
Precinct C (2)	Code Assessable for all lots 3,000 m ² or greater, otherwise Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
RECONFIGURING A LOT (BOUNDARY REALIGNMENT OR ACCESS EASEMENTS)		
Precinct	Level of Assessment	Assessment Criteria
All other precincts	Code Assessable for all lots 1ha or greater, otherwise Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
Precinct C (1)	Code Assessable for all lots 4,000m ² or greater, other Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
Precinct C (2)	Code Assessable for all lots 3,000m ² or greater, otherwise Impact Assessable	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)
Easements	Code Assessable under all circumstances	<i>Twin Creeks Eco Park Development Code</i> (Section 7.1 -7.3)



7.0 Twin Creeks Eco Park Development Code

7.1 Purpose

The *Twin Creeks Eco Park Development Code* acts as a replacement for the Zone Code (Part 6), and Development Codes (Part 9) of the *Whitsunday Regional Planning Scheme 2017*. The purpose of the Code is to deliver the intent of the overall Preliminary Approval through that detailed as part of Section 4.0 of this Development Scheme. The purpose and overall outcomes sought to be achieved by the development is as follows -

- (1) The purpose of the *Twin Creeks Eco Park Development Code* is to deliver the Whitsundays region an integrated mainland tourism operation and associated facilities, including a purpose-built mountain bike trail, villas & eco-houses, indoor activities, and small-scale business activities.
- (2) The purpose of the *Twin Creeks Eco Park Development Code* is to provide predominantly rural-residential style living opportunity on a range of lot sizes from a minimum of 3,000m² in area.
- (3) The purpose of the *Twin Creeks Eco Park Development Code* is to provide for a unique masterplan community offering an integrated mix of living, tourism, educational, training and business activity, where:
 - a. A combination of short-term and long-term accommodation uses will cater for permanent residents and tourists and can be interchangeable depending on competing demand between permanent residents and tourists.
 - b. Permanent residents, tourists, school and sporting groups will share enjoyment of various community, sporting, recreation and entertainment facilities.
 - c. Small scale and complementary educational and training facilities are encouraged where they support local job creation, indigenous ranger and training programs or upskilling of park employees.
 - d. Business activities enhance and increase visitor experience and length of stay periods. Business activities which operate in isolation and compete against the wider TCEPD are not supported.
 - e. Rural uses that are not complementary or uses that may compromise amenity, privacy and the overall experience of residents or visitors are not supported.'
- (4) The purpose of the *Twin Creeks Eco Park Development Code* will be achieved through the following overall outcomes:

7.2 Overall Outcomes

Precinct A – Tourism

The purpose of the Tourism Precinct will be achieved through the following overall outcomes –

- (a) Development provides the region with an integrated trail and adventure site and associated ancillary infrastructure;
- (b) Development provides for Accommodation activities, primarily in the form of relocatable home parks, short-term accommodation and tourist parks, that promote variety in visitor accommodation options to accommodate tourists, mountain bike riders, trail walkers and other park visitors;



- (c) Development facilitates opportunities for establishing tourist facilities and services in non-urban, rural and environmental areas to complement tourist accommodation and enhance the attractiveness of tourist areas; and
- (d) development may provide for Business, Community, Accommodation and Recreation Activities including short term, long term and tourist accommodation, student and sporting group accommodation, food and drink outlets, community uses, functions, training and event facilities and other ancillary and complementary uses. Such uses are to be small to medium in scale and must support and enhance the wider TCEPD experience. Non complementary rural uses or rural uses that do not enhance visitor experiences, are not supported.

Precinct B – Villas

The purpose of the Villa Precinct will be achieved through the following overall outcomes –

- (a) Development provides for a compatible mix of low and medium density residential dwelling choices and forms, predominantly for both holiday and permanent living, including dwelling houses, dual occupancies and multiple dwellings (such as townhouses, eco-houses, villas, terraces and row houses);
- (b) development may provide for limited Business, Community and Other activities including sales offices, shops (limited to corner stores), community uses, emergency services and utility installations; and
- (c) Development provides for nature-based tourism and tourist parks to be established where the scale, intensity and nature of the use complements Tourism orientated activities. Non complementary rural uses or rural uses that do not enhance visitor or resident experiences, are not supported.

Precinct C – Rural Residential

The purpose of the Rural-Residential Precinct will be achieved through the following overall outcomes –

- (a) Development provides for low density Accommodation activities, in the form of dwelling houses on a range of lifestyle lots within a semi-rural setting with a minimum lot size of 4,000sqm in C1, and 3,000m² in C2. Short-term accommodation uses are supported in Lot 210 in Stage 2 and all lots within Stages 3, 4 & 5, where the design, scale and location are complementary and integrated with the wider Twin Creeks Eco Park;
- (b) Rural, Business and Community activities are limited to small-scale and low intensity uses that are compatible with the prevailing rural residential character and amenity of the zone. Such uses are limited to animal husbandry, cropping, roadside stalls, sales offices, community uses and emergency services;
- (c) to maintain the low density character and rural residential amenity of the zone, development has a low-rise built form with a maximum building height of 8.5m above ground level, or 10.0m above ground level where located on slopes exceeding 15%;
- (d) the built form of development integrates with and complements the predominant rural residential character and scale of the zone and is sympathetic to the environmental and topographical features of the landscape;



- (e) development for Accommodation activities adjacent to rural land does not interfere with the existing or ongoing use of the rural land for productive agricultural purposes;
- (f) development avoids or mitigates any adverse impacts on areas of cultural heritage significance or environmental significance (including creeks, gullies, waterways, wetlands, coastal areas, habitats and vegetation) through sensitive location, design, operation and management;
- (g) development is provided with an appropriate level of services and infrastructure that maintains public health, avoids negative impacts on the natural environment and ensures the safety of buildings and works; and
- (h) the safety and efficiency of existing and future infrastructure (including road, rail, pipelines, telecommunications and transmission infrastructure) is protected and the amenity and safety of development is not adversely affected by proximity to such infrastructure.
- (i) Non complementary rural uses or rural uses that impact on the amenity or privacy of residents is not supported.

7.3 Reconfiguring a Lot Code

7.3.1 Application

This code applies to assessable development:

- (a) being Reconfiguring of a Lot; and
- (b) identified as requiring assessment against the Reconfiguring of a Lot Code by the table of assessment in Part 5 of this Development Scheme

Table 7.3.2 - Benchmarks for Accepted and Assessable Development

Performance Outcomes (P)	Acceptable Outcomes (A)														
Size and dimensions of lots															
PO1 Development provides for the size, dimensions and orientation of lots to: a) be appropriate for their intended use; b) be compatible with the purpose for the Twin Creeks Eco Park POD in section 3; c) provide suitable building envelopes and safe pedestrian, bicycle and vehicular access without the need for major earthworks and retaining walls; and d) take account of and respond sensitively to site constraints.	AO1.1 Lots size is generally in accordance with the table below: <table><tr><th>Minimum Lot Size</th><th>Minimum Width (Road Frontage or Rear Boundary for Battle Axe Lots)</th><th>Minimum Depth (Excluding access handle for Battle Axe Lots)</th></tr><tr><td>4,000m² (C1)</td><td>40m</td><td>50m</td></tr><tr><td>3,000m² (C2)</td><td>20m</td><td>40m</td></tr><tr><td>1ha (all other precincts)</td><td>NA</td><td>NA</td></tr></table>			Minimum Lot Size	Minimum Width (Road Frontage or Rear Boundary for Battle Axe Lots)	Minimum Depth (Excluding access handle for Battle Axe Lots)	4,000m ² (C1)	40m	50m	3,000m ² (C2)	20m	40m	1ha (all other precincts)	NA	NA
Minimum Lot Size	Minimum Width (Road Frontage or Rear Boundary for Battle Axe Lots)	Minimum Depth (Excluding access handle for Battle Axe Lots)													
4,000m ² (C1)	40m	50m													
3,000m ² (C2)	20m	40m													
1ha (all other precincts)	NA	NA													
Irregular shaped lots															
PO2 Development provides for irregular shaped lots to be created only where:	AO2.1 No acceptable outcome listed														



a) the creation of regular lots is impractical such as at a curve in the road; b) safe access to and from the site can be provided while not adversely impacting on the functionality of the surrounding road network; and c) the irregular lot is suitable for its intended purpose.	
Rearrangement of lot boundaries	
PO3 Development provides that the rearrangement of lot boundaries: a) does not result in the creation, or in the potential creation of, additional lots; and b) (b) is an improvement on the existing situation.	AO3.1 The rearrangement of lot boundaries results in an improvement to the existing situation, and at least one of the following is achieved: a) the rearrangement of lots remedies an existing boundary encroachment by a building, structure or other use areas; b) the rearranged lots will be made more regular in shape; and c) access is provided to a lot that previously had no access or an unsuitable access.
Lot layout and site responsive design	
PO4 Development provides for a lot layout and configuration of roads and other transport corridors that sensitively respond to surrounding environmental values and development.	AO4.1 Development layout and configuration responds appropriately to: a) any areas of environmental significance or natural hazards present on, or adjoining the site; b) the location and management of natural stormwater flows present on, or adjoining the site; c) any places of cultural heritage significance or character areas present on, or adjoining the site; d) any important landmarks, views, vistas or other areas of high scenic value present on, or able to be viewed from the site; e) creates legible and interconnected movement and open space networks; f) provides for a grid or modified movement network which avoids or minimises the use of cul-de-sac; and provides defined edges to public open space and avoids or minimises direct interface between public open space and freehold lots.
Lot layout and neighbourhood / estate design	
PO5 Development is appropriately planned, encompassing best practice lot layout and neighbourhood and estate design whilst providing efficient land use pattern and effectively connecting the site with existing or planned development.	AO5.1 Development provides for a lot layout and infrastructure configuration that: a) provides for the efficient movement of pedestrians, cyclists, public transport and private motor vehicles in that order of priority; b) avoids narrow pathways and/or drainage reserves between lots; c) provides for the creation of a diverse range of lot sizes capable of accommodating a mix of housing types and other uses required to support the community as



	appropriate to the zone and, where applicable, local plan area; d) promotes a sense of community identity and belonging; e) provides for a high level of amenity having regard to potential noise, dust, odour and lighting nuisance sources; f) accommodates and provides for the efficient and timely delivery of infrastructure appropriate to the site's context and setting; and g) (g) avoids the sporadic or out of sequence creation of lots.
1.2 Infrastructure	
Infrastructure, services and utilities	
PO6 Development is provided with infrastructure, services and utilities appropriate to its location and setting and commensurate with its needs.	AO6.1 Where available, development is provided with appropriate connection to reticulated sewerage, water supply, stormwater drainage, electricity, gas (where available in the street) and telecommunications services at no cost to the Council, including provision by way of dedicated road, public reserve or as a minimum by way of easements to ensure continued access is available to these services.
PO7 Development provides for infrastructure, services and utilities that are planned, designed and constructed in a manner which: a) ensures appropriate capacity to meet the current and planned future needs of the development; b) is integrated with and efficiently extends existing networks; c) minimises risk to life and property; d) avoids ecologically important areas; e) minimises risk of environmental harm; f) achieves acceptable maintenance, renewal and adaptation costs; g) can be easily and efficiently maintained; h) minimises potable water demand and wastewater production; i) ensures the ongoing construction or operation of the development is not disrupted; j) where development is staged, each stage is fully serviced before a new stage is released; k) ensures adequate clearance zones are maintained between utilities and dwellings to protect residential amenity and health; and l) (l) minimises visual and amenity impacts.	AO7.1 Infrastructure is planned, and appropriate contributions made, in accordance with the LGIP or any other applicable infrastructure charging instrument. AO7.2 Infrastructure is planned, designed and constructed in accordance the LGIP and with PSP SC6.8 (WRC development manual) for development works, or where applicable, the requirements of the service provider. AO7.3 Development occurs in a logical sequence and facilitates the efficient and timely provision of infrastructure and services taking into account the capacity of existing and future infrastructure. AO7.4 Compatible public utility services are co-located in common trenching in order to minimise the land required and the costs for underground services. AO7.5 Infrastructure, services and utilities are located and aligned so as to: a) avoid disturbance of ecologically important areas; b) minimise earthworks; and c) avoid crossing waterways or wetlands. AO7.6 Where the crossing of a waterway or wetland cannot be avoided tunnel boring techniques are used to minimise disturbance and disturbed areas are reinstated and revegetated on completion of works. AO7.7



	The selection of materials used in the construction of infrastructure is suitable, durable, easy to maintain and cost effective, taking into account the whole of life cycle cost, and achieves best practice environmental management and energy savings. AO7.8 Access easements for maintenance purposes are provided over Council infrastructure within privately owned land
Stormwater management infrastructure	
PO8 Development provides for the effective drainage of lots and roads in a manner that: a) maintains pre-existing or natural flow regime; b) effectively manages stormwater quality and quantity; and c) (c) ensures no adverse impacts on receiving waters, adjacent properties on surrounding land.	AO8.1 The development of stormwater management infrastructure is designed in accordance with D4: Stormwater drainage, D5: Stormwater quality and S4: Stormwater drainage of PSP SC6.8 (WRC development manual).
Works over or near sewerage, water and stormwater drainage infrastructure	
PO9 Building or operational work near or over the Council's stormwater infrastructure and/or sewerage and water infrastructure: a) protects the infrastructure from physical damage; and b) (b) allows ongoing necessary access for maintenance purposes.	AO9.1 Building or operational work near or over the Council's stormwater infrastructure and/or sewerage and water infrastructure complies with the PSP SC6.8 (WRC development manual).
Plan to avoid/minimise new impacts on water quality	
PO10 The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	AO10.1 Except for within Precinct C2, a site stormwater quality management plan (SQMP) is prepared, and: a) is consistent with any local area stormwater management planning, and b) provides for achievable stormwater quality treatment measures meeting design objectives listed below in Table 9.4.4.3.7 (construction phase) and Table 9.4.4.3.8 (post construction phase), or current best practice environmental managements, reflecting land use constraints, such as: • erosive, dispersive, sodic and/or saline soil types. • landscape features (including landform). • acid sulfate soil and management of nutrients of concern. • rainfall erosivity.



PO11 Development does not discharge wastewater to a waterway or off site unless demonstrated to be best practice environmental management for that site.	AO11.1 A wastewater management plan (WWMP) is prepared by a suitably qualified person and addresses: a) wastewater type, and b) climatic conditions, and c) water quality objectives (WQOs), and d) best-practice environmental management AO11.2 The WWMP provides that wastewater is managed in accordance with a waste management hierarchy that: a) avoids wastewater discharges to waterways, or b) (b) if wastewater discharge to waterways cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater
PO12 Any non-tidal artificial waterway is located in a way that is compatible with the land use constraints of the site for protecting water environmental values in existing natural waterways.	AO12.1 If the proposed development involves a non-tidal artificial waterway: a) environmental values in downstream waterways are protected, and b) any groundwater recharge areas are not affected, and c) the location of the waterway incorporates low lying areas of a catchment connected to an existing waterway, and d) existing areas of ponded water are included, and AO12.2 Non-tidal artificial waterways are located: a) outside natural wetlands and any associated buffer areas, and b) to minimise disturbing soils or sediments, and c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.
PO13 Any non-tidal artificial waterway is located in a way that is compatible with existing tidal waterways.	AO13.1 Where a non-tidal artificial waterway is located adjacent to, or is connected to, a tidal waterway by means of a weir, lock, pumping system or similar: a) there is sufficient flushing or a tidal range of >0.3 m, or b) any tidal flow alteration does not adversely impact on the tidal waterway, or c) (c) there is no introduction of salt water into freshwater environments.
Design to avoid/minimise new impacts on water quality	



PO14 Stormwater does not discharge directly to a non-tidal artificial waterway without treatment to manage stormwater quality management.	AO14.1 Any non-tidal artificial waterway is designed and managed for any of the following end-use purposes: a) amenity including aesthetics, landscaping and recreation, or b) flood management, or c) stormwater harvesting as part of an integrated water cycle management plan, or d) aquatic habitat, and AO14.2 The end-use purpose of any non-tidal artificial waterway is designed and operated in a way that protects water environmental values.
Construct to avoid/minimise new impacts on water quality	
PO15 Construction activities for the development avoid or minimise adverse impacts on stormwater quality.	AO15.1 An erosion and sediment control plan (ESCP) demonstrates that release of sediment-laden stormwater is avoided for the nominated design storm, and minimised when the nominated design storm is exceeded, by addressing design objectives listed below in Table 9.4.4.3.4 (construction phase) or local equivalent, for: a) drainage control, and b) erosion control, and c) sediment control, and d) (d) water quality outcomes. AO15.2 Erosion and sediment control practices (including any proprietary erosion and sediment control products) are designed, installed, constructed, operated, monitored and maintained, and any other erosion and sediment control practices are carried out in accordance with local conditions and appropriate.
Operate to avoid/minimise new impacts on water quality	
PO16 Operational activities for the development avoid or minimises changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.	AO16.1 Development incorporates stormwater flow control measure to achieve the design objectives set out below in Table 9.4.4.3.5 (post construction phase). The operational phases for the development comply with design objectives in Table 9.4.4.3.6 (post construction phase), or current best practice environmental management, including management of frequent flows, and peak flows.
PO17 Any treatment and disposal of waste water to a waterway accounts for: • the applicable water quality objectives for the receiving waters, and • adverse impact on ecosystem health or receiving waters, and • in waters mapped as being of high ecological value, the adverse impacts of such releases and their offset.	AO17.1 Implement the WWMP prepared in accordance with AO5.1.



PO18 Wastewater discharge to a waterway is managed in way that maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health.	AO18.1 Wastewater discharge waterways is managed to avoid or minimize the release of nutrients of concern so as to minimize the occurrence, frequency and intensity of coastal algal blooms. AO18.2 Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology, and AO18.3 Development in coastal catchments: a) avoids lowering groundwater levels where potential or actual acid sulfate soils are present, and b) manages wastewaters so that: I. the pH of any wastewater discharged is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium, and metals, and II. holding times of neutralised wastewaters ensures the flocculation and removal of any dissolved iron prior to release, and III. visible iron floc is not present in any discharge, and IV. precipitated iron floc is contained and disposed of, and V. v. wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.
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PO19 Any non-tidal artificial waterway is managed and operated by suitably qualified persons to achieve water quality objectives in natural waterways.	AO19.1 Any non-tidal artificial waterway is designed, constructed and managed under the responsibility of a suitably qualified registered professional engineer, Queensland (RPEQ) with specific experience in establishing and managing artificial waterways, and AO19.2 Monitoring and maintenance programs adaptively manage water quality in any non-tidal artificial waterway to achieve relevant water-quality objectives downstream of the waterway, and AO19.3 Aquatic weeds are managed in any non-tidal artificial waterway to achieve a low percentage of coverage of the water surface area (less than 10%). Pests and vectors (such as mosquitoes) are managed through avoiding stagnant water areas, providing for native fish predators, and any other best practices for monitoring and treating pests, and AO19.4 Any non-tidal artificial waterway is managed and operated by a responsible entity under agreement for the life of the waterway. The responsible entity is to implement a deed of agreement for the management and operation of the waterway that: a) identifies the waterway, and b) states a period of responsibility for the entity, and c) states a process for any transfer of responsibility for the waterway, and d) states required actions under the agreement for monitoring the water quality of the waterway and receiving waters, and e) states required actions under the agreement for maintaining the waterway to achieve the outcomes of this code and any relevant conditions of a development approval, and f) (f) identifies funding sources for the above, including bonds, infrastructure charges or levies.
Fire services in developments accessed by common private title	
PO21 Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO21.1 Residential streets and common access ways within a common private title should have hydrants placed at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and should be situated above or below ground. AO21.2 Commercial and industrial streets and access ways within streets serving commercial properties such as factories, warehouses and offices should be provided with above or below ground fire hydrants at not more than 90 metre intervals and at each street intersection. Above ground fire hydrants should have dual valved outlets.



PO22 Road widths and construction within the development are adequate for fire emergency vehicles to gain access to a safe working area close to dwellings and near water supplies whether or not on-street parking spaces are occupied.	AO22.1 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for safe passage of emergency vehicles.
PO23 Hydrants are suitably identified so that fire services can locate them at all hours.	AO23.1 Hydrants are identified as specified in the 'Traffic and Road Use Management Manual, Volume 1: Guide to traffic management, Part 10: Traffic Control and Communication Devices, section 6.7.2-1 Fire hydrant indication system.
1.3 Landscaping	
Landscape design generally	
PO24 Landscaping is established on site to maintain the amenity enjoyed by people using the premises and the adjoining premises. Note – This may be demonstrated by preparing a site specific Landscaping plan in accordance with PSP SC6.4 (Landscaping).	AO24.1 Development provides for landscaping that contributes to and creates a high quality landscape character for the site, street, local area and the Whitsunday region, by: a) promoting the character of the Whitsunday region as a tropical environment; b) being sensitive to site conditions, natural landforms and landscape characteristics; b) protecting and enhancing native vegetation, wildlife habitat and ecological values; c) protecting and framing significant views, vistas and areas of high scenic quality; and (e) being of an appropriate scale to integrate successfully with development.
Retention of vegetation and topographic features in layout and design of landscaping	
PO25 Development provides landscaping that, as far as practicable, retains, protects and enhances existing trees, vegetation and topographic features of ecological, recreational, aesthetic and cultural value.	AO25.1 Where economically practical existing remnant vegetation and native non-remnant vegetation is retained and integrated within the landscaping concept of new development.
Character and amenity	
PO26 Development provides for landscaping that protects and enhances the character and amenity of the site, streetscape and surrounding locality.	AO26.1 Built form is softened and integrated with the broader landscape by structured landscape planting. AO26.2 Unless otherwise specified car parks and driveways are screened by: a) a planting bed of at least 1.5m wide where adjacent to an Accommodation activity; or b) a planting bed of at least 3m wide where adjacent to a street frontage or public open space. AO26.3 Front boundary fences and walls are articulated by recesses that allow for dense vegetative screening and have a minimum depth of 1m to the full height of the fence or wall and for at least 50% of the length. AO26.4



	Storage and utility areas are completely screened by vegetation or built screens, except for access ways to these areas.
Streetscape landscaping	
PO27 Development provides for a streetscape landscaping that contributes to the character and amenity of surrounding development and assists in fostering social interaction.	AO27.1 Streetscape landscaping: a) incorporates shade trees; b) contributes to the continuity and character of existing and proposed streetscapes; c) in established urban areas, incorporates landscape design (including planting, pavements, furniture, structures, etc.) that reflect and enhance the character of the streetscape; d) in new or establishing urban areas, incorporates landscape design (including planting, pavements, furniture, structures, etc.) that is consistent with and complementary to the natural landscape character of the local area; and e) (e) incorporates garden planting in conjunction with street tree planting at major junctions only.
Species selection	
PO28 Development provides for landscaping which incorporates plant species that are: a) fit for the intended purpose; b) suited to local environmental conditions; c) non-toxic; and d) (d) not declared environmental weeds.	AO28.1 Landscaping planting utilises locally endemic and/or other native species in accordance with the PSP SC6.4 (Landscaping). AO28.2 Species that have the potential to become an environmental weed or are known to be toxic to people or animals are not used in any landscaping works.
Safety, security and accessibility	
PO29 Development provides for landscaping that: a) clearly defines public and private spaces; b) promotes passive surveillance of public and semi-public spaces; c) enhances personal safety and security; and d) (d) provides universal and equitable access.	AO29.1 Development provides landscaping which: a) defines territory and ownership of public, common, semi-private and private space and does not create ambiguous spaces that encourage loitering; b) allows passive surveillance into, and visibility within, communal recreational spaces, children's play areas/playgrounds, pathways and car parks; c) incorporates trees with a minimum of 1.8m clear trunk and understorey planting that is a maximum of 0.3m in height where located immediately adjacent to pathways, entries, parking areas, street corners, street lighting and driveways; d) minimises the use of dense shrubby vegetation over 1.5m in height along street frontages and adjacent to open space areas; e) incorporates pedestrian surfaces that are slip-resistant, stable and trafficable in all weather conditions; f) provides security and pathway level lighting to site entries, driveways, parking areas, building entries and pedestrian pathways; and g) provides universal access in accordance with AS1428 (Design for access and mobility). AO29.2



	Fences and screens to street frontages are visually permeable for 50% of their face area to provide opportunities for passive surveillance.
Climate control and energy efficiency	
PO30 Development provides landscaping that assists in passive solar access, the provision of shade, microclimate management and energy conservation.	AO30.1 Landscaping elements are positioned to shade walls, windows and outdoor areas from summer sun. AO30.2 Landscaping allows winter sun access to living areas, north facing windows and public spaces. AO30.3 Landscaping, fences and walls allow exposure of living and public areas to prevailing summer breezes and protection against winter winds.
Water sensitive urban design	
PO31 Development provides for landscaping that promotes the efficient and sensitive use of water through appropriate plant selection and layout and by maximising opportunities for water infiltration.	AO31.1 Landscaping maximises the infiltration and conservation of water by: a) selecting locally endemic and/or other native plant species and appropriate turf species that require minimal irrigation after establishment; b) grouping plants and street trees (where appropriate) in mulched beds; c) minimising impervious surfaces; d) incorporating semi-porous pavement surfaces as an alternative to impervious surfaces; and e) (e) draining hard surface areas to landscaped areas and water sensitive urban design devices.
Landscaped separation buffers and environmental management	
PO32 Development provides for landscaped separation buffers that: a) effectively protect matters of environmental significance or the edges of existing native vegetation; and b) provide separation between incompatible land uses or between major infrastructure elements (such as State-controlled roads) and land uses.	AO32.1 The ecological values of a site or adjoining land is protected and enhanced by landscaping and landscape buffers. Note – This may be demonstrated by preparing a site specific Landscaped separation buffer plan in accordance with PSP SC6.4 (Landscaping). AO32.2 Where a landscaped separation buffer is required, it is designed, constructed and maintained to achieve visual screening and acoustic attenuation of major infrastructure elements. Note – This may be demonstrated by preparing a site specific Landscaped separation buffer plan in accordance with PSP SC6.4 (Landscaping).
Traffic safety and infrastructure	



PO33 Development ensures that landscaping does not impede traffic visibility at access points, speed control devices and intersections.	AO33.1 Landscaping does not: a) unreasonably restrict sightlines for vehicles, pedestrians or cyclists; b) obscure warning signs, information signs or road signs; c) compromise building foundations, roads and paths; and d) compromise services such as pipelines, underground cabling and overhead powerlines. AO33.2 Where restrictions occur, suitable alternative landscaping is provided.
PO34 Development ensures that landscaping does not adversely impact upon the provision, operation and maintenance of infrastructure.	AO34.1 Planting and landscape structures are located to enable tradespersons to access, view and inspect switchboards, substations, service meters and the like AO34.2 Root barriers are installed around tree root balls to minimise the risk of damage to infrastructure, services or utilities. AO34.3 Trees and large shrubs are located clear of underground services and utilities and in accordance with D9.07 of PSP SC6.8 (WRC development manual). AO34.4 Planting in landscaping areas adjacent to electricity substations or high voltage transmission line easements complies with the PSP SC6.8 (WRC development manual) in addition to: a) for Ergon Energy's assets, the Ergon Energy Vegetation management standard; and b) (b) for Powerlink's assets, Powerlink's Easement co-use guideline and Screening your home from powerlines guideline.
1.4 Excavation and filling	



PO35 Excavation and filling: a) does not cause environmental harm; b) does not impact adversely on visual amenity or privacy; c) maintain natural landforms as far as possible; and d) (d) is stable in both the short and long term.	AO35.1 Driveways are able to be constructed and maintained in accordance with the requirements of the D2: Site regrading and S1: Earthworks of PSP SC6.8 (WRC development manual). AO35.2 Development provides that: a) on sites of: I. 15% or more, the extent of excavation (cut) and fill does not involve a total change of more than 1.5m relative to the natural ground level at any point; or II. in other areas, the extent of excavation (cut) and fill does not involve a total change of more than 1.0m relative to the natural ground level at any point; b) no part of any cut or fill batter is within 1.5m of any property boundary except cut and fill involving a change in ground level of less than 200mm that does not necessitate the removal of any vegetation; c) retaining walls are no greater than 1.0m high; d) retaining walls are constructed a minimum 150mm from property boundaries; e) all stored material is: I. contained wholly within the site; II. located in a single manageable area that does not exceed 50m²; III. located at least 10m from any property boundary; and f) any batter or retaining wall is structurally adequate.
PO36 Filling or excavation does not interfere with natural stormwater flows.	AO36.1 Any filling or excavation does not restrict or interfere with overland flow.
PO37 Filling or excavation does not directly, indirectly or cumulatively change flood characteristics which may cause adverse impacts external to the development site.	AO37.1 Development does not result in a reduction in flood storage capacity. AO37.2 Development does not change flood flows, velocities or levels external to the development site.
PO38 Filling or excavation does not result in any contamination of land or water, or pose a health or safety risk to users and neighbours of the site.	AO38.1 Development provides that: a) no contaminated material is used as fill; b) for excavation, no contaminated material is excavated or contaminant disturbed; and c) waste materials are not used as fill, including: I. commercial waste; II. construction/demolition waste; III. domestic waste; IV. garden/vegetation waste; and V. (v) industrial waste.
1.5 Transport and Parking	
Layout and design of on-site parking and access	
PO39 Development ensures that the layout and design of vehicle access, on-site circulation systems and	AO39.1 Development provides access driveways, internal circulation and manoeuvring areas, service areas and parking areas that



parking areas is safe, convenient and legible for all users including people with disabilities, pedestrians, cyclists and public transport services, where relevant.	complies with D1: Road geometry of PSP SC6.8 (WRC development manual) and AS2890 (Parking facilities) ensuring: a) the number and type of vehicles planned for the development can be accommodated on the site; b) on-site vehicle parking and manoeuvring areas provide for vehicles to enter and leave the site in a forward motion; and c) a progressive reduction in vehicle speed between the external transport corridor and internal parking spaces such that lower speeds occur near areas of high pedestrian activity.
Site access	
PO40 Development ensures that the location and design of any new site access does not interfere with the planned function, safety, capacity and operation of the transport network.	AO40.1 The location and design of any new or changed site access complies with D1: Road geometry of PSP SC6.8 (WRC development manual), AS2890.1 (Parking facilities: Off-street car parking), AS2890.2 (Parking facilities: Off-street commercial vehicle facilities) and where applicable in accordance with the Transport Infrastructure Act 1994 where State-controlled roads are affected.
Service vehicle requirements	
PO41 Development provides sufficient parking and access for service vehicles to meet the needs of the development.	AO41.1 Service vehicle access, manoeuvring and parking is designed to in accordance with AS2890.2 (Parking facilities: Off-street commercial vehicle facilities).
PO42 Development provides for driveways, internal circulation areas and service areas to be designed to: (a) ensure that proposed loading, unloading, waste collection and fuel delivery facilities (if required) can satisfactorily accommodate the number and type of service vehicles expected on-site; and (b) the movement of service vehicles on-site and loading and unloading operations do not interfere with onsite amenity and the safe and convenient movement of other vehicles and pedestrians on the site.	AO42.1 Driveways, internal circulation areas, and service areas are provided to accommodate the nominated design vehicles for each development type. AO42.2 Driveways, internal circulation areas, manoeuvring areas, loading and unloading areas and refuse collection facilities are designed and constructed in accordance with D1: Road geometry of PSP SC6.8 (WRC development manual) and AS2890 (Parking facilities).
Access and parking site access	
PO43 Development is designed such that turning traffic minimises the impact of the development on external traffic systems.	AO43.1 Turns to and from the development are designed in accordance with the standards specified in D1: Road geometry of PSP SC6.8 (WRC development manual).
PO44 Development provides for sight distances to and from driveways sufficient to ensure safe operation.	AO44.1 Available sight distances from driveways comply with the standards specified in D1: Road geometry of PSP SC6.8 (WRC development manual).
PO45 Development provides appropriate and sufficient signage to ensure safe and convenient usage of site access systems	AO45.1 Appropriate direction, regulatory, warning and information signage and line marking is provided in accordance with the requirements of PSP SC6.8 (WRC development manual) and the Manual of uniform traffic control devices.

Table 9.4.4.3.7 Stormwater management design objectives – Construction phase
(Ref: SPP Appendix 3)

Issue		Design Objectives
Drainage control	Temporary drainage works	(1) Design life and design storm for temporary drainage works: (a) disturbed area open for <12 months—1 in 2-year ARI event; (b) disturbed area open for 12–24 months—1 in 5-year ARI event; (c) disturbed area open for > 24 months—1 in 10-year ARI event. (2) Design capacity excludes minimum 150 mm freeboard. (3) Temporary culvert crossing—minimum 1 in 1-year ARI hydraulic capacity.
Erosion control	Erosion control measures	(1) Minimise exposure of disturbed soils at any time. (2) Divert water run-off from undisturbed areas around disturbed areas. (3) Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other acceptable methods. (4) Implement erosion control methods corresponding to identified erosion risk rating.
Sediment control	Sediment control measures Design storm for sediment control basins Sediment basin dewatering	(1) Determine appropriate sediment control measures using: (a) potential soil loss rate; or (b) monthly erosivity; or (c) average monthly rainfall. (2) Collect and drain stormwater from disturbed soils to sediment basin for design storm event: (a) design storm for sediment basin sizing is 80th% five-day event or similar. (3) Site discharge during sediment basin dewatering: (a) TSS < 50 mg/L TSS; (b) turbidity not >10% receiving waters turbidity; and (c) pH 6.5–8.5.
Water quality	Litter and other waste, hydrocarbons and other contaminants	(1) Avoid wind-blown litter; remove gross pollutants. (2) Ensure there is no visible oil or grease sheen on released waters. (3) Dispose of waste containing contaminants at authorised facilities.
Waterway stability and flood flow management	Changes to the natural waterway hydraulics and hydrology	(1) For peak flow for the 1-year and 100-year ARI event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site.

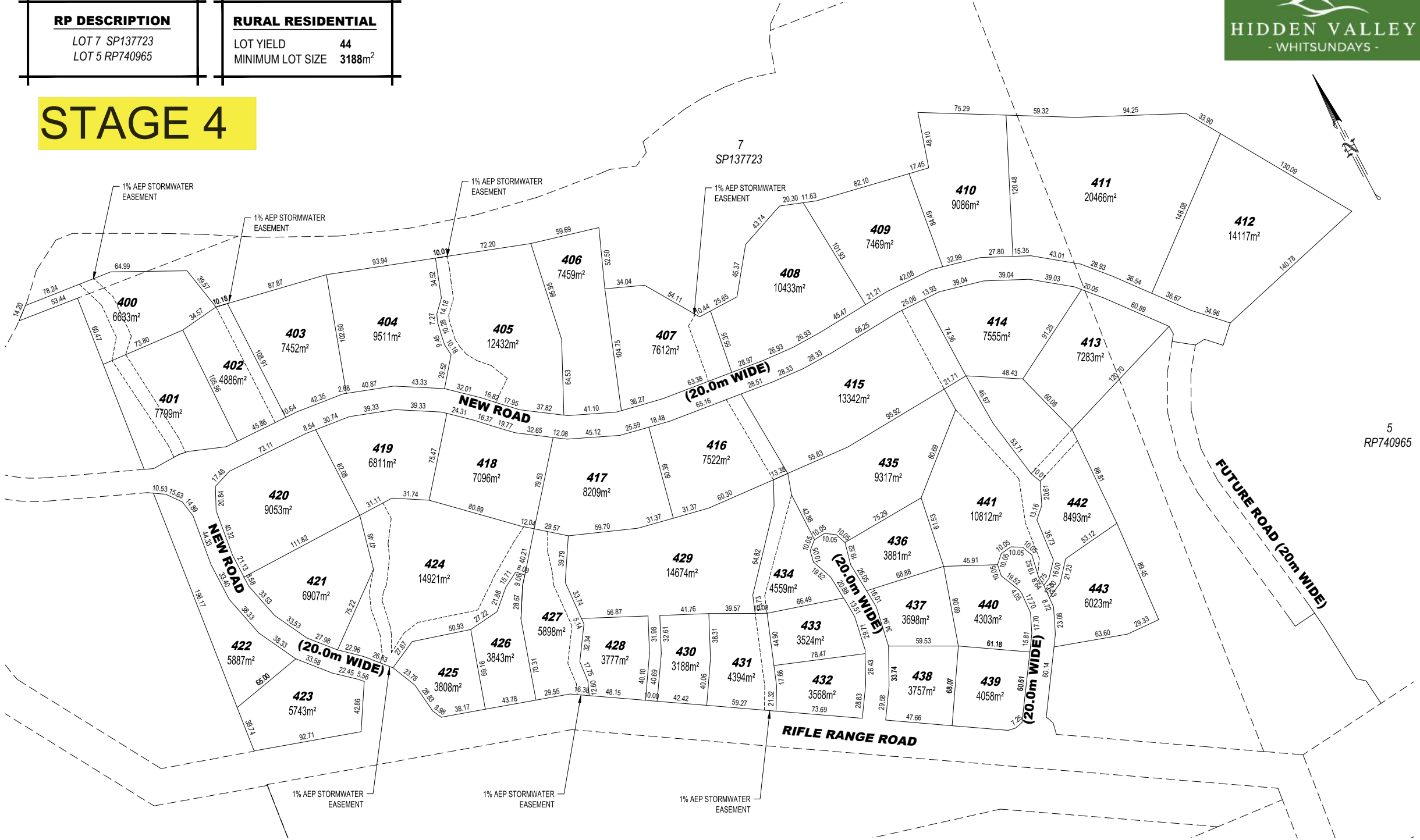


Table 9.4.4.3.8 Stormwater Management Design Objectives - Post construction phase (Ref: SPP Appendix 3)

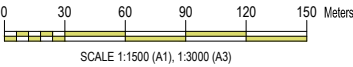
Climatic region	Design Objectives Minimum reductions in mean and annual load from unmitigated development (%)				Application
	Total suspended solids	Total phosphorus	Total Nitrogen	Gross pollutants >5mm	
Central Queensland (North)	75	60	40	90	Development for urban purposes within population centres greater than 3,000 persons.
All	N/A	N/A	N/A	N/A	Excludes development that is less than 25% impervious. In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets for all Queensland regions is 1.5% of the contributing catchment area.
					Waterway stability management Limit the peak 1-year ARI event discharge within the receiving waterway to the pre-development peak 1-year ARI event discharge. Catchments contributing to un-lined receiving waterway may not require compliance if the waterway is degraded. For peak flow the 1-year ARI event, use co-located storages to attenuate site discharge rate of stormwater.

RP DESCRIPTION	RURAL RESIDENTIAL
LOT 7 SP137723 LOT 5 RP740965	LOT YIELD 44 MINIMUM LOT SIZE 3188m ²

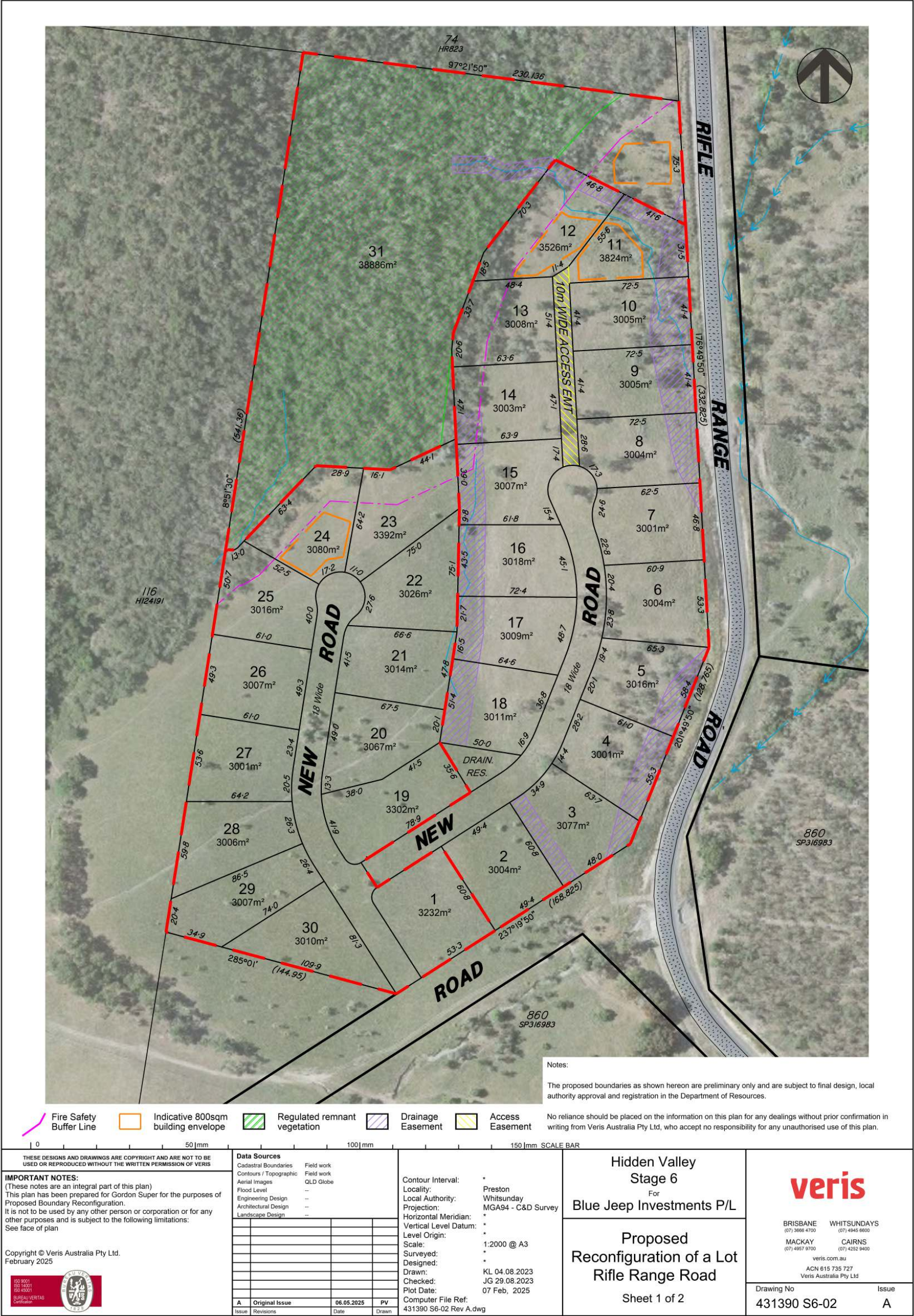
STAGE 4



PLAN
SCALE 1:1500 (A1), 1:3000 (A3)



NOTE: ONLY DRAWINGS MARKED "FOR CONSTRUCTION" AND BEARING AN ORIGINAL SIGNATURE SHALL BE USED FOR CONSTRUCTION PURPOSES.				Design: SWT Drawn: SWT Date: May 2022		 ALTA ENGINEERING : DESIGN : MANAGEMENT	ALTA PROJECTS A.B.N. 611355330 26 Memorial Avenue, Cotton Tree PO Box 559, Cotton Tree, QLD, 4558 Tel (07) 5475 4125 Fax (07) 5479 1607 Email: engineers@alta.net.au Web: http://www.alta.net.au	PROJECT: PROPOSED RURAL SUBDIVISION ESTATE at RIFLE RANGE ROAD, HIDDEN VALLEY for BLUE JEEP INVESTMENTS PTY LTD	DRAWING TITLE: STAGE 4 PROPOSAL PLAN	
FOR APPROVAL NOT FOR CONSTRUCTION		Checked: Datum: AHD		DRAWING No: A6594/ST4/22/P40	Revision: C				Sheet: 40 of 28	
REV	DATE	DESCRIPTION	BY	CHKD	© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of ALTA Projects. All intellectual property remains within ALTA Projects. All enquiries should be directed to ALTA Projects.					



11.2 - Australian Local Government Association Assembly 2025

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Manager - Governance and Administration Services

AUTHORISING OFFICER: Director Corporate Services

PURPOSE

To present Council's motions for submission to the Australian Local Government Association for potential inclusion in the National General Assembly 2025 Business Papers.

EXECUTIVE SUMMARY

Australian Local Government Association Annual Conference (ALGA), the National General Assembly of Local Government (NGA), will be occurring in Canberra from 24 June to 27 June 2025 at the National Convention Centre. As a result, ALGA is now calling for councils to submit motions for the 2025 NGA. The theme of the 2025 NGA will be "National Priorities Need Local Solutions". ALGA is seeking motions that align with this theme and identify opportunities for new federal programs and policies that will support councils. Motions are due on 31 March 2025.

OFFICER'S RECOMMENDATION

That Council submit the following motions to the ALGA National General Assembly for consideration:

Motion 1:

That this National General Assembly calls on the Australian Government to include the President of the Australian Local Government Association into the National Cabinet to reinstate the Local Government's representation into national decision making that existed in the Council of Australian Governments' (COAG).

Motion 2:

That this National General Assembly calls on the Australian Government to confirm the payment of the Financial Assistance Grants (FAG's) will be paid in the financial year to which the funding applies and that it is resolved to allowed Council's to adequately plan and budget for these funds.

Motion 3:

That this National General Assembly calls on the Australian Government to emulate the community benefits and effectiveness of the National Cyclone Reinsurance Pool with a National Flood Reinsurance Pool.

Motion 4:

That this National General Assembly calls on the Australian Government to allocate dedicated funding and resources for Local Governments to support the implementation of the PFAS National Environmental Management Plan.

BACKGROUND

The Australian Local Government Association (ALGA) advocates on behalf of Australia's 537 councils for funding and policy outcomes that support local governments to deliver

better results for their communities. An annual National General Assembly (NGA) is held in Canberra where councils discuss current and emerging challenges and opportunities and advocate to the Federal Government on critical issues facing the sector.

The motions passed at the NGA inform ALGA's strategic direction and national advocacy objectives. This year's NGA will be held in Canberra from 24 -27 June. Motions have been called for this year's NGA, and a discussion paper which covers some of the critical national policy areas. Councillors and the executive leadership team have been consulted, and 4 motions have been prepared for consideration.

DISCUSSION/CURRENT ISSUE

Due to the timing of the 2024 quadrennial elections timing, Council elected not to submit any motions in 2024.

All motions require, among other things, a contact officer, a clear national objective, a summary of the key arguments in support of the motion, and endorsement of Council by way of resolution. To assist in identifying motions which address the theme of the NGA, the ALGA Secretariat has prepared a Call for Motions Discussion Paper (attached).

Motions should generally be in a form that seeks the NGA's support for a particular action or policy change at the Government level which will assist local governments to meet local community needs. This NGA has identified the following priority areas:

- Intergovernmental relations;
- Financial sustainability;
- Roads and infrastructure;
- Emergency management;
- Housing and homelessness;
- Jobs and skills;
- Community services;
- Closing the Gap and Aboriginal and Torres Strait Islander Reconciliation;
- Data, digital technology and cyber security;
- Climate change and renewable energy;
- Environment;
- Circular economy

To be eligible for inclusion in the NGA Business Papers, and subsequent debate on the floor of the NGA, motions must meet the following criteria:

- Be relevant to the work of local government nationally.
- Not be focused on a specific jurisdiction, location or region – unless the project or issue has national implications.
- Be consistent with the themes of the NGA.
- Complement or build on the policy objectives of ALGA and your state or territory local government association.
- Be submitted by a council which is a financial member of their state or territory local government association.
- Propose a clear action and outcome i.e. call on the Australian Government to act on something.
- Not be advanced on behalf of external third parties that may seek to use the NGA to apply Pressure to Board members, or to gain national political exposure for positions

that are not directly relevant to the work of, or in the national interests of, local government.

- Address issues that will directly improve the capacity of local government to deliver services and infrastructure for the benefit of all Australian communities.
- Not seek to advance an outcome that would result in a benefit to one group of councils to the infrastructure for the benefit of all Australian communities.
- Be supported by sufficient evidence and demonstrate the relevance and significance of the matter to local government nationally.

The following motions have been developed following consultation with Council and are presented for consideration against the motion eligibility criteria.

Motion subject:

Intergovernmental Relations

Motion:

That this National General Assembly calls on the Australian Government to include the President of the Australian Local Government Association into the National Cabinet to reinstate the Local Government's representation into national decision making that existed in the Council of Australian Governments' (COAG).

Motion subject:

Financial Sustainability

Motion:

That this National General Assembly calls on the Australian Government to confirm the payment of the Financial Assistance Grants (FAG's) will be paid in the financial year to which the funding applies and that it is resolved to allowed Council's to adequately plan and budget for these funds.

Motion subject:

Financial Sustainability / Climate Change and Renewable Energy

Motion:

That this National General Assembly calls on the Australian Government to emulate the community benefits and effectiveness of the National Cyclone Reinsurance Pool with a National Flood Reinsurance Pool.

Motion subject:

Environment

Motion:

That this National General Assembly calls on the Australian Government to allocate dedicated funding and resources for Local Governments to support the implementation of the PFAS National Environmental Management Plan.

FINANCIAL IMPLICATIONS

There are costs to attend the conference as when a council submits a motion there is an expectation that a council representative will be present at the National General Assembly to move and speak to that motion if required. This will be funded from the existing conference budgets for Councillors.

CONSULTATION/ENGAGEMENT

Strategic Leadership Team
Councillors

STATUTORY/COMPLIANCE MATTERS

ALGA motions submission due date is set for 31st of March 2025.

RISK ASSESSMENT/DEADLINES

Council has the option to resolve on which motions they wish to submit to the Australian Local Government Association to be considered for inclusion in the National General Assembly 2025 Business Papers. If there are no issues Council would like to submit a motion on, then there is the option to do nothing. Noting failure to present any motions might present a loss of opportunity for Council to advocate and get involved in significant matters at the Federal level.

STRATEGIC IMPACTS

Corporate Plan Reference:

Support the organisation in ensuring appropriate compliance with legislation and to support the elected council in its decision-making processes and obligations as a local government.

ATTACHMENTS

1. 2025- NG A- Discussion- Paper [11.2.1 - 24 pages]

*National Priorities
Need Local Solutions*

24 - 27 June 2025 | National
Convention Centre Canberra

National General Assembly Discussion Paper



ALGA
Australian Local
Government Association

KEY DATES

18 December 2024 | Opening of Call for Motions

31 March 2025 | Acceptance of Motions closes

24 June 2025 | Regional Cooperation & Development Forum

25 - 27 June 2025 | National General Assembly

TO SUBMIT YOUR MOTION

VISIT: [ALGA.COM.AU](https://alga.com.au)

The Australian Local Government Association (ALGA) is pleased to convene the 31st National General Assembly of Local Government (NGA), to be held in Canberra from 24-27 June 2025.

As convenor of the NGA, the ALGA Board cordially invites all councils to send representatives to this important national event.

The NGA is the premier national gathering of local governments, and provides councils with the opportunity to come together, share ideas, debate motions, and most importantly unite and further build on the relationship between local government and the Australian Government.

This discussion paper contains essential information for Australian councils considering submitting motions for debate at the 2025 National General Assembly of Local Government (NGA).

It is recommended that all councils and delegates intending to attend the 2025 NGA familiarise themselves with the guidelines for motions contained in this paper on page 6.

BACKGROUND TO ALGA AND THE NGA

ALGA was established 1947. In structure, ALGA is a federation of member state and territory associations. Its mission is to achieve outcomes for local government through advocacy with impact, and maximise the economic, environmental and social wellbeing of councils and our communities.

Since 1994, the NGA has built the profile of local government on the national stage, showcased the value of councils, and most importantly demonstrated – particularly to the Australian Government – the strength and value of working with local government to help deliver on national priorities.

Debate on motions was introduced to the NGA as a vehicle for councils from across the nation to canvas ideas. Outcomes of debate on motions (NGA Resolutions) could be used by participating councils to inform their own policies and priorities, as well as their advocacy when dealing with federal politicians.

At the same time, they help ALGA and its member state and territory associations gain valuable insight into council priorities, emerging national issues, and the level of need and support for new policy and program initiatives.

Given the structure of ALGA, its Constitution, and level of resources, the NGA does not bind the ALGA Board. However, the Board carefully considers NGA resolutions as it determines ALGA's policies, priorities and strategies to advance local governments within the national agenda.

This is your NGA and ALGA is pleased to act as the convenor. ALGA's policies and priorities will continue to be determined by the ALGA Board in the interests of all councils.

The ALGA Board thanks all councils for attending the NGA and those that will take the time to reflect on the purpose of debate on motions outlined in this paper, and to submit motions for debate at the 2025 NGA.



SUBMITTING MOTIONS

The theme of the 2025 NGA is – *National Priorities Need Local Solutions*

In June 2025, Australia will either have a re-elected Labor Government, or a new Coalition or minority government.

The 31st National General Assembly of Local Government will focus on opportunities for councils to work with the next Federal Government to deliver local solutions that will help them deliver on their vision for the nation.

As the closest government to communities, councils understand local challenges and opportunities. They are a willing partner in government, and sustainably funded can provide place-based solutions to a range of national priorities including affordable housing, energy transition, road safety, increasing productivity, and improved health and wellbeing.

This discussion paper is a call for councils to submit motions for debate at the 2025 NGA to be held in Canberra from 24-27 June 2025.

Motions for this year's NGA should consider:

- Any new practical programs or policy changes that can strengthen the system of local government nationally to provide the services and infrastructure required to support and strengthen our communities; and/or
- New program ideas that that would help the local government sector to deliver place-based solutions to national priorities.

Motions should be concise, practical and implementable and meet the guidelines for motions set out in the paper.

You are encouraged to read all the sections of the paper but are not expected to respond to every issue or question. Your council's motion/s must address one or more of the issues identified in the discussion paper.



Motions must be lodged electronically using the online form available on the NGA website at: www.alga.asn.au and received no later than 11:59pm AEST on Monday 31 March 2025.

All notices of motions will be reviewed by the ALGA Board's NGA Sub-committee prior to publishing the NGA Business Paper to ensure that they meet these guidelines. This sub-committee reserves the right to select, edit or amend notices of motions to facilitate the efficient and effective management of debate on motions at the NGA. For example, the sub-committee may recommend an overarching strategic motion to encompass several motions on the same topic.

All NGA resolutions will be published on www.nationalgeneralassembly.com.au.

As the host of the NGA, ALGA will communicate resolutions to the relevant Australian Government Minister and publish Ministerial responses as they are received on this website.

Please note that if your council does submit a motion, there is an expectation that a council representative will be present at the NGA to move and speak to that motion if required.

We look forward to hearing from you and seeing you at the 2025 NGA.

CRITERIA FOR MOTIONS

To be eligible for inclusion in the NGA Business Papers, and subsequent debate on the floor of the NGA, motions must meet the following criteria:

1. Be relevant to the work of local government nationally.
2. Not be focused on a specific jurisdiction, location or region – unless the project or issue has national implications.
3. Be consistent with the themes of the NGA.
4. Complement or build on the policy objectives of ALGA and your state or territory local government association.
5. Be submitted by a council which is a financial member of their state or territory local government association.
6. Propose a clear action and outcome ie call on the Australian Government to act on something.
7. Not be advanced on behalf of external third parties that may seek to use the NGA to apply pressure to Board members, or to gain national political exposure for positions that are not directly relevant to the work of, or in the national interests of, local government.
8. Address issues that will directly improve the capacity of local government to deliver services and infrastructure for the benefit of all Australian communities.
9. Not seek to advance an outcome that would result in a benefit to one group of councils to the detriment of another.
10. Be supported by sufficient evidence and demonstrate the relevance and significance of the matter to local government nationally.

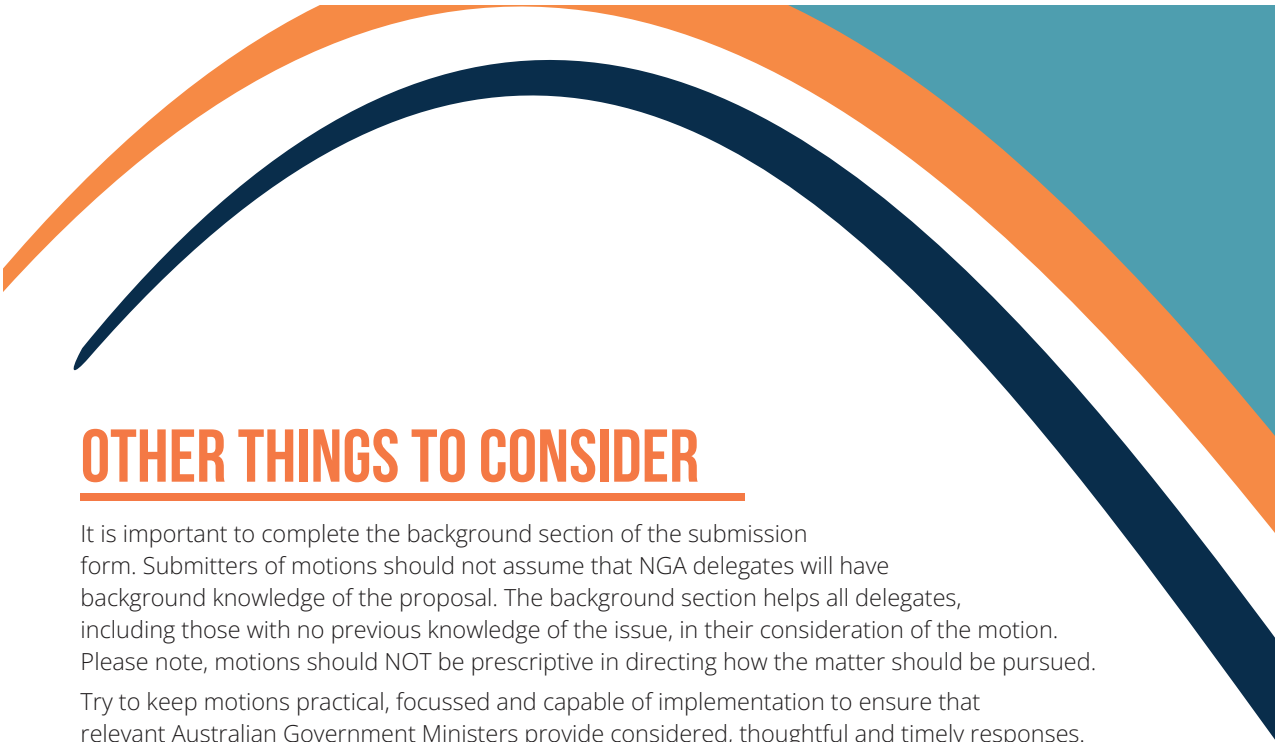
Motions must commence with the following wording:

This National General Assembly calls on the Australian Government to

...

Please note: that resolutions of the NGA do not automatically become ALGA's national policy positions.

The ALGA Board carefully considers NGA resolutions as it determines ALGA's policies, priorities and strategies to advance local governments within the national agenda, but the resolutions are not binding.



OTHER THINGS TO CONSIDER

It is important to complete the background section of the submission form. Submitters of motions should not assume that NGA delegates will have background knowledge of the proposal. The background section helps all delegates, including those with no previous knowledge of the issue, in their consideration of the motion. Please note, motions should NOT be prescriptive in directing how the matter should be pursued.

Try to keep motions practical, focussed and capable of implementation to ensure that relevant Australian Government Ministers provide considered, thoughtful and timely responses.

Try to avoid motions that are complex, contain multi-dot points and require complex cross-portfolio implementation.

All motions submitted will be reviewed by the ALGA Board's NGA Sub-committee, in consultation with state and territory local government associations, to determine their eligibility for inclusion in the NGA Business Papers.

When reviewing motions, the Sub-committee considers the criteria, clarity of the motion and the importance and relevance of the issue to local government.

If there are any questions about the substance or intent of a motion, ALGA will raise these with the nominated contact officer. With the agreement of the submitting council, these motions may be edited before inclusion in the NGA Business Papers.

To ensure an efficient and effective debate, where there are numerous motions on a similar issue, the NGA Sub-committee will group these motions together under an overarching strategic motion. The strategic motions will have either been drafted by ALGA or will be based on a motion submitted by a council which best summarises the subject matter.

Debate will occur in accordance with the rules for debate published in the Business Papers and will focus on the strategic motions. Associated sub-motions will be debated by exception only or in accordance with the debating rules.

Any motion deemed to be primarily concerned with local or state issues will be referred to the relevant state or territory local government association and will not be included in the NGA Business Papers.

All motions require:

- a contact officer;
- a clear national objective;
- a summary of the key arguments in support of the motion; and
- endorsement of your council

Motions should be lodged electronically using the online form available at www.alga.com.au.

Motions should be received no later than 11:59pm AEST on Monday 31 March 2025.



SETTING THE SCENE

The theme for the 2025 NGA – **National Priorities Need Local Solutions** – highlights the unique role Australia's 537 councils can play delivering local, place-based solutions that meet the needs of their communities, while addressing broader national priorities.

The 2025 NGA provides you - the elected representatives of Australia's local councils and communities - with the opportunity to engage with the Federal Government and key Ministers.

Further, it is your opportunity to advocate for new or expanded programs and key policy initiatives that could strengthen local governments and its capacity to deliver services and infrastructure to local communities across the nation.

This year's call for motion focusses on twelve priority areas:

- Intergovernmental relations;
- Financial sustainability;
- Roads and infrastructure;
- Emergency management;
- Housing and homelessness;
- Jobs and skills;
- Community services;
- Closing the Gap and Aboriginal and Torres Strait Islander Reconciliation;
- Data, digital technology and cyber security;
- Climate change and renewable energy;
- Environment;
- Circular economy





1. INTERGOVERNMENTAL RELATIONS

For almost 30 years, local government was represented by ALGA on the Council of Australian Governments (COAG), providing local input into national decision making. However, when COAG was replaced by National Cabinet in March 2020, local government was not included.

National Cabinet is a forum for the Prime Minister, Premiers and Chief Ministers to meet and work collaboratively; and is a key mechanism in Australia's intergovernmental architecture. A representative of local government, the President of ALGA, is invited to meet with National Cabinet once each year, as well as one meeting of the Council on Federal Financial Relations comprising the Commonwealth Treasurer as Chair and all state and territory treasurers.

While National Cabinet was established to support a coordinated national response to the COVID-19 pandemic, the lack of local representation to this body has unfortunately impacted on decision making.

The Government's review into the COVID-19 response – published in October 2024 – found that Australia's 537 councils were critical for the implementation of National Cabinet decisions during the pandemic.

The inquiry also recommended National Cabinet would benefit from having more structured engagement and active consultation with local government to ensure future decision-making is informed at a local level.

In addition to attending one meeting per year of National Cabinet and CFFR, ALGA also represents local government on a range of Ministerial Councils and Forums, including the Infrastructure and Transport Ministers Meeting, National Emergency Management Ministers Meeting, Local Government Ministers Forum, Joint Council on Closing the Gap, Planning Ministers Meeting, Environment Ministers Meeting, Cultural Ministers Meeting, Energy and Climate Change Ministers Meeting, Road Safety Ministers Meeting, and Building Ministers Meeting.

Given the important role councils play delivering local solutions to national priorities, how can intergovernmental arrangements be further improved in Australia?

Are there new initiatives and programs that could be adopted to improve the level of cooperation and collaboration between the Australian Government and local government?



2. FINANCIAL SUSTAINABILITY

Sustainably funded, councils can play a key role delivering local solutions to national priorities. However, across the country many councils are facing significant financial challenges and are struggling to fund the delivery of core community services.

Every year councils are being asked to do more with less as a result of cost shifting, inadequate state and federal funding and, in some jurisdictions, rate pegging.

In 2024/25 councils will receive \$3.27 billion in federal Financial Assistance Grants. This is approximately 0.5% of Commonwealth taxation revenue, which is half the amount it was in 1996. The Australian Parliament is currently undertaking an Inquiry into local government sustainability, to which ALGA, State and Territory associations and many councils provided submissions

ALGA's submission to this inquiry highlighted that:

- If local government were provided annually with an additional \$350 million for the maintenance and delivery of quality open space, Australia's gross domestic product (GDP) would increase by \$858.9 million each year.
- If local government were able to effectively increase its capacity to perform regulatory services in planning and building, there would be an annual saving of \$859 million for development proponents and would generate an additional \$1.67 billion in GDP each year.
- Increased block transfers of Commonwealth funds to local governments can deliver greater efficiency and administrative cost savings of \$236 million and would generate increase GDP by \$330.8 million each year
- Reducing local government staff turnover can save \$425 million in avoided costs and lead to a \$619.9 million increase in GDP each year.
- Investing an additional \$1 billion each year into the maintenance of local government roads would increase GDP by \$354.6 million annually.

ALGA also stressed that the inquiry should not recommend any actions that will improve the financial sustainability of some councils to the detriment of others.

What are the opportunities to address financial sustainability across councils, and support their capacity to deliver local solutions to national priorities?

Are there improvements to be made to existing federal funding programs and arrangements that would support improved local government financial sustainability?



3. ROADS AND INFRASTRUCTURE

Local governments are responsible for around 75% of Australia's road network by length, and play an important role supporting productivity and improving road safety.

However, many councils are not resourced to effectively maintain their local roads, and independent research from the Grattan Institute in 2023 identified a \$1 billion annual local government road maintenance funding gap.

In November 2023 the Government announced that Roads to Funding would be progressively increased from \$500 million to \$1 billion per year over the forward estimates, effectively halving the current funding gap.

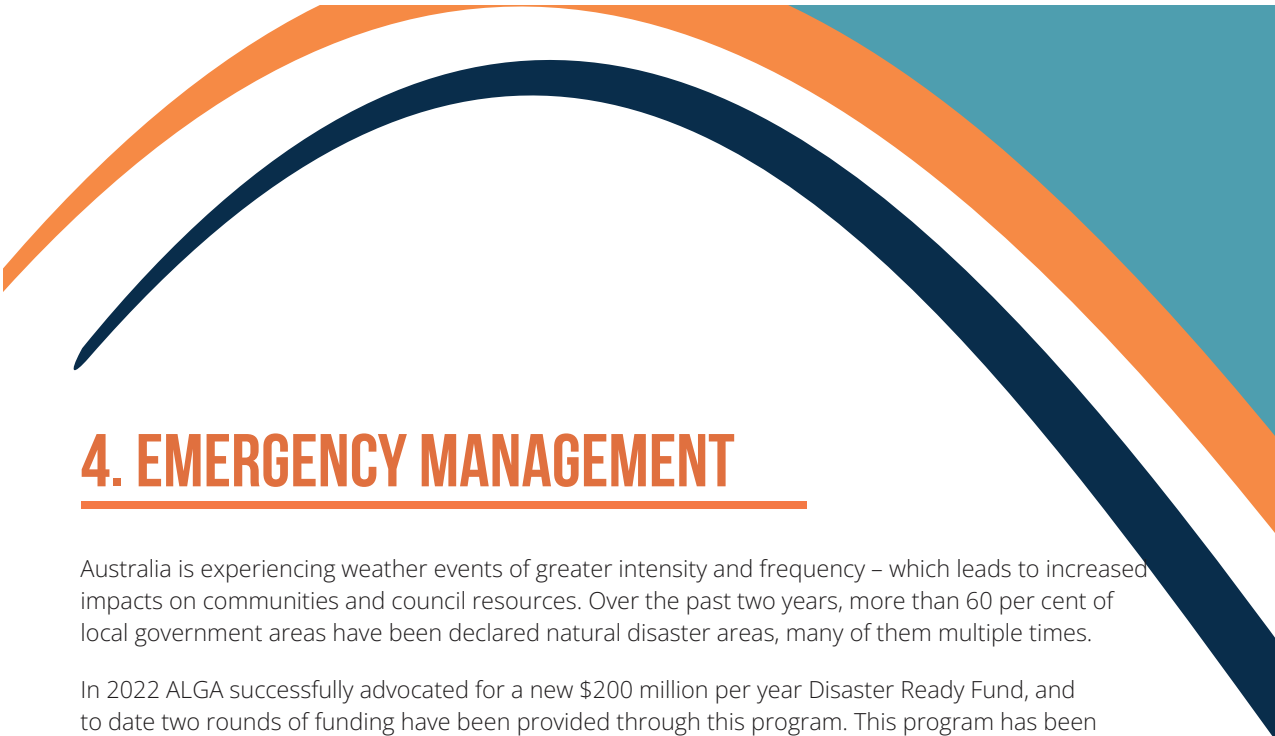
In addition to local roads, councils build and maintain community facilities and infrastructure worth more than \$100 billion nationally.

In 2020 the Australian Government introduced a new Local Roads and Community Infrastructure Program, which saw \$3.25 billion provided to all councils for local projects on a formula basis. ALGA's 2024 National State of the Assets highlighted the success of this federal funding program, reporting a \$1 billion improvement in the condition of local government facilities since the 2021 report.

Are there new programs or initiatives that the Australian Government could adopt to improve the long-term sustainability of local government roads and community infrastructure?

Are there programs or initiatives that the Australian Government could provide to improve the sector's capacity to manage local government infrastructure and to integrate these plans into long-term financial plans?

Are there opportunities for the Australian Government to support councils to invest in local infrastructure that will help address national priorities?



4. EMERGENCY MANAGEMENT

Australia is experiencing weather events of greater intensity and frequency – which leads to increased impacts on communities and council resources. Over the past two years, more than 60 per cent of local government areas have been declared natural disaster areas, many of them multiple times.

In 2022 ALGA successfully advocated for a new \$200 million per year Disaster Ready Fund, and to date two rounds of funding have been provided through this program. This program has been legislated to run for five years.

Both rounds of the Disaster Ready Fund have been significantly oversubscribed, and ALGA is advocating for a significant increase in federal funding to improve the emergency management capability and capacity of local government.

The Royal Commission on National Natural Disaster Arrangements made two important recommendations for local government – calling for State and Territory Governments to take responsibility for the capacity and capability of local government for the functions which are delegated to them (recommendation 11.1), and recommending States and Territory Governments review arrangements for resource sharing between local governments (recommendation 11.2).

Released in November 2024, the Colvin Review (Independent Review of Commonwealth Disaster Funding) and Glasser Review (Independent Review of National Natural Disaster Governance Arrangements) both support a strategic shift towards disaster risk reduction and resilience. The Colvin Review also supports a major capacity uplift for local government and an enhanced national training and exercise regime which tests and builds local government capacity.

Councils are encouraged to draw on their practical experience of the improvements that could be made to managing emergencies.

Please note that many aspects of emergency management are state or territory responsibilities, and your motions should focus on how the Australian Government could assist.

What new programs, or improvements to existing programs, could the Australian Government develop to partner with local government to improve the current natural disaster management systems to further assist in recovery and build resilience?

How can the Government best support Australian councils to prepare for, respond to and recover from natural disasters?



5. HOUSING AND HOMELESSNESS

Australia is currently facing a housing crisis which is resulting in more people experiencing housing insecurity and homelessness, while also preventing required worker movement across the country.

Councils are not responsible for building housing. Many councils do, however, play a key role in facilitating housing supply by appropriately zoning land and approving development. Others are going above and beyond to address the housing crisis, albeit without adequate resourcing.

One of the biggest issues is a lack of funding for infrastructure such as roads, water and power connections that are necessary for new housing developments.

The National Housing Accord – which ALGA is a signatory to on behalf of local government - sets an ambitious target of 1.2 million new, well-located homes over the next five years.

Research commissioned by ALGA, and delivered by Equity Economics, showed that there is currently a \$5.7 billion funding shortfall for the enabling infrastructure required to bridge the gap between current constructions and Australia's housing targets.

Another significant issue is local government's lack of input into setting housing policy at both a state, territory and federal level, While ALGA represents councils on a wide range of ministerial councils, it is not currently a member of the Housing and Homelessness Ministerial Council or National Cabinet.

A key focus for councils is ensuring that any new housing developments are not just supported by enabling infrastructure, but also the local facilities and services that are vital for healthy, productive and resilient communities.

What new programs and policies could the Australian Government develop to partner with local government to support the provision of more affordable housing?

How can the Australian Government work with councils to address the causes and impacts of homelessness?



6. JOBS AND SKILLS

Local government is a major employer in Australia providing employment, career advancement and training opportunities for more than 200,000 Australians, across an estimated 400 occupations.

However, councils – like many employers across the nation – are experiencing skill shortages that hinder their ability to meet community needs.

The 2022 Local Government Workforce Skills and Capability Survey show nine out of every ten Australian councils are facing jobs and skills shortages.

65% of respondent local governments said that project delivery had been impacted or delayed by vacancies, skills shortages, skills gaps or training needs.

The top five most cited skill shortages that local governments experienced were engineers (as noted by 46% of 2022 survey respondents), urban and town planners (40%), building surveyors (36%), environmental health inspectors (30%) and human resources professionals (29%).

Drivers of skill shortages include difficulty attracting young people to local government jobs, lack of available training courses, wage competition, and lack of resources to upskill the current workforce such as access to training facilities for rural/remote councils, workplace supervisors, subject matter experts, and contextualised training resources.

National priorities, such as increasing housing supply, cannot be achieved without support from local government and the right people to do the work.

Are there programs or initiatives that the Australian Government could implement that would enhance local government's capacity to attract and retain appropriately skilled staff now and into the future?

Are there programs or changes to existing programs that would increase local government's ability to employ apprentices and trainees?

Are there other initiatives that the Australian Government could provide to improve the sector's ability to plan and develop skills fit for the future?



7. COMMUNITY SERVICES

Councils provide a wide range of services based on local characteristics, needs, priorities, and the resources of their community.

Some of these services are provided to address market failure, and many of them are provided by councils on behalf of other levels of government.

It is important to note that nationally local government is more than 83% self-sufficient ie funded at the local level either through rates, fees and charges, sale of goods and services, or interest. The Australian Bureau of Statistics data shows that total local government annual expenditure in 2022-23 was \$48 billion.

Only 17% comes from grants and subsidies from other levels of government. Unfortunately, many of these grants and subsidies are tied, or competitive funding programs, or require matching funding which restricts the ability to address local priorities in the way the council and community might need.

Local government community services are broadly defined, and may include but are not limited to:

- environmental health including food safety;
- childcare, early childhood education, municipal health;
- aged care, senior citizens;
- services to people living with disability;
- programs to address disadvantage, to reduce poverty and homelessness;
- sporting and recreational programs;
- arts and cultural activities, programs and festivals;
- tourism and economic development activities;
- library services

Noting the funding arrangements for the provision of local government community services are there programs and initiatives that the Australian Government could implement to improve the delivery of these services?

Are there reforms or improvements in national community services program that would help local governments support the Australian Government to deliver on its national objectives?



8. CLOSING THE GAP AND ABORIGINAL AND TORRES STRAIT ISLANDER RECONCILIATION

In 2021, ALGA co-signed a landmark national agreement to close the gap between Indigenous and non-Indigenous Australians. At the heart of the National Agreement on Closing the Gap Partnership are four agreed priority reform targets and 19 socio-economic targets in areas including education, employment, health and wellbeing, justice, safety, housing, land and waters, and Aboriginal and Torres Strait Islander languages.

Local governments are uniquely placed to support partnerships to address long term service gaps and support their delivery. Councils are elected by their communities and have the longitudinal scope to develop a community's economic, skills, and infrastructure needs.

Local governments already play a significant role in helping their communities and the Closing the Gap outcomes. However, councils need appropriate resourcing, be it through place-based initiatives, or broader programs, to better facilitate and meet program objectives in their communities.

Are there programs or initiatives that the Australian Government could adopt to assist local government to advance reconciliation and close the gap?

Are there practical programs or initiatives that local government and the Australian Government could introduce to maintain, build and strengthen partnerships between Aboriginal and Torres Strait Islanders and governments?

9. DATA, DIGITAL TECHNOLOGY AND CYBER SECURITY

Provision of information technology to all Australians is vital to innovation, economic growth, and social equity. However, it is potentially even more important to regional Australia where the tyranny of distance increases the inequity of services available – including education, health, economic and social. Innovative technology is becoming more broadly available and could boost productivity and economic growth.

Councils around Australia continue to embrace new technologies to improve their service delivery standards and broaden consultation and engagement with their local communities. However, implementation can be hindered without access to basic technological infrastructure and the necessary IT skills and resources.

In recent times, cyber-attacks on major corporations and other businesses have resulted in significant data breaches. It is a timely reminder as digital information, services and products become an increasing feature of modern business operation including in local government.

Like all risks, local government must manage the risk of cyber-attacks and address cyber security.

While this is primarily a responsibility of the sector itself, governments at all levels must work together to ensure that the public have confidence in government information management systems and its security.

Drawing upon your council's experience, and your knowledge of other councils within your state or territory, are there programs and initiatives that the Australian Government could implement to help local government develop its digital technology services and infrastructure?

Are there actions the Australian Government could take to improve cyber security within the local government sector?



10. CLIMATE CHANGE AND RENEWABLE ENERGY

Climate change is resulting in more frequent and severe disasters, coastal erosion, and rising heat, which are all impacting on the liveability of Australian communities.

Local governments play a role in emissions reduction through reducing their corporate emissions and supporting broader national processes of decarbonisation through community engagement, and provision of services and infrastructure.

The 2024 Local Government Climate Review found that 89% of councils have set or planned ambitious corporate emissions reduction targets.

Councils also play a critical role supporting their communities through change, helping them to adapt and build their resilience. The latest Local Government Climate Review found that two-thirds have done a climate risk assessment and 72% are implementing initiatives.

Barriers to adaptation include internal resourcing (70%), funding (67%), complexity and not knowing how to respond (53%), and limited technical expertise and capacity (48%).

Councils need support to adequately assess climate risk and vulnerabilities and adequately address them in plans, policies investment decisions and engagement with communities. Unfortunately, funding and support from other levels of government has failed to keep pace, placing an inequitable burden on the sector.

The rapid increase in renewable energy projects in regions across Australia is resulting in uneven and inconsistent community benefits being offered and delivered to communities. It is also placing significant pressure on local governments to plan, negotiate and secure an enduring constructive legacy associated with renewable energy projects.

Local governments are the only local democratic institution in a position to convene local interests and broker long term social and economic benefits from renewables projects, and should be recognised and supported for their role in maintaining social license for renewables projects.

Noting the Australian Government's approach to reducing emissions, are there partnerships, programs, and initiatives that local government and the Australian Government can form to achieve Australia's 2050 net zero emissions target?

What are the opportunities to support councils to increase community resilience to the impacts of climate change?

What support do councils need to ensure that renewable energy projects deliver lasting benefits to the communities that house them?

11. ENVIRONMENT

The Australian Government's Nature Positive Plan states "Almost half of Australia's gross domestic product (GDP) has a moderate to very high direct dependence on nature. The rate at which we are eroding the environment poses tangible risks to Australia's economic, financial and social stability."

Australia's 537 local governments undertake broad and diverse work to support environmental outcomes.

However, councils do not receive adequate support for this work, which includes managing pests, weeds, and biosecurity threats, contributing to water security and management, managing parklands and reserves, and community education.

In recent years the National General Assembly has considered a range of environmental issues, and passed resolutions on biodiversity, biosecurity, conservation, climate change and water security.

How could the Australian Government partner with local government to strengthen Australia's environmental services and infrastructure?

What new programs could the Australian Government partner with local government in to progress local regional and national objectives?



12. CIRCULAR ECONOMY

Australia's volume of waste continues to increase compared with population growth and GDP, even with rates of recycling improving over the past decades.

The 2022 National Waste Report showed that waste generation has increased by 20% over the last 15 years (8.3% from municipal waste). Since 2006-07, recycling and recovery of Australia's core waste has increased by 57% (+22% in municipal) however Australia continues to have one of the lowest rates of recycling among OCED countries.

Local governments are under pressure to respond to community demand for addressing pollution, while at-capacity landfills and emerging problematic materials pose serious operational challenges.

Collecting, treating, and disposing of waste costs local governments an estimated \$3.5 billion annually.

ALGA believes the onus for waste reduction should be borne by industry, not local governments. Mandatory product stewardship approaches, including payments to local governments for their resource recovery services, would ensure the principle of producer responsibility is operationalised and the cost and risk burden on local governments is rebalanced.

How could the Australian Government further strengthen product stewardship arrangements to support local governments in their endeavours to increase recycling and reduce the volume of waste?

How could the Australian Government partner with local government to advance the circular economy?





CONCLUSION

Thank you for taking the time to read this discussion paper and your support for the 2025 National General Assembly of Local Government.

A final reminder:

- Motions should be lodged electronically at www.alga.com.au and received no later than 11.59pm on Monday 31 March 2025.
- Motions must meet the criteria published in this paper.
- Motions should commence with the following wording: 'This National General Assembly calls on the Australian Government to...'
- Motions should not be prescriptive in directing how the matter should be pursued.
- Motions should be practical, focussed and relatively simple.
- It is important to complete the background section on the form.
- Motions must not seek to advance an outcome that would result in a benefit to one group of councils to the detriment of another.
- When your council submits a motion there is an expectation that a council representative will be present at the 2025 National General Assembly to move and speak to that motion if required.
- Resolutions of the National General Assembly do not automatically become ALGA's national policy positions. The resolutions are used by the ALGA Board to inform policies, priorities and strategies to advance local governments within the national agenda.

We look forward to hearing from you and seeing you at the 2025 National General Assembly in Canberra.





11.3 - Collinsville Community Hub

MEETING DETAILS: Ordinary Council Meeting – Wednesday 26 March 2025

AUTHOR: Capital Program Project Manager

AUTHORISING OFFICER: Director of Capital Program and Network Planning

PURPOSE

This report provides background information in recommending to Council a preferred redevelopment option for the new Collinsville Community Hub.

EXECUTIVE SUMMARY

Council was granted \$14.6M from the Resources Community Infrastructure Fund, with a further \$1.4M contribution from WRC to enable the redevelopment of the Collinsville Community Centre and Showgrounds Precinct into a consolidated Community Hub. The project was initiated due to Collinsville's Community facilities being dispersed, underutilised and nearing end of design life.

The Hub is to include the consolidation of Councils Customer Service Centre, Library, Visitor Information Centre as well as the externally operated Telecentre and Gym. In addition, meeting spaces and a 300-seat multipurpose hall are to be provided.

Two options were considered for the redevelopment of the centre being:

Option A: Renovation / Alterations to the existing Community Centre building; or

Option B: Demolition of the existing Community Centre, construction of a new Community Hub.

Early in the concept phase of the project a third option was explored, retaining the existing community centre and building a new hub. This was discounted due to the desire of consolidating services in a single hub.

A Quantity Surveyor was recently engaged to establish estimated costs for **Option A**, considering independent engineering and building compliance audits to determine statutory upgrades required if the existing Community Centre were to be renovated.

The same exercise was undertaken for the construction of a new consolidated Community Hub **Option B**.

Costings are summarised below.

- **Option A:** Refurbishment/Alterations to existing Community Centre – QS cost estimate is: **\$24,075,000** excl GST.
- **Option B:** Demolition of the existing Community Centre and construction of a new Community Hub- QS cost estimate is: **\$16,224,000** excl GST. Construction costs will be further refined through value management to ensure the project costs do not exceed allocated budget of \$16 million.

OFFICER'S RECOMMENDATION

That Council approve the following:

- 1) Construction of a new Community Hub (**Option B**) inclusive of a Customer Service Centre, Library, Visitor Information Centre as well as the externally operated Telecentre and Gym. In addition, meeting spaces and a 300-seat hall at 11 Conway Street, Collinsville Qld 4804; and
- 2) Demolish the existing Collinsville Community Centre - 11 Conway Street, Collinsville Qld 4804.

BACKGROUND

The Collinsville Community Hub project was initiated due to Collinsville's Community facilities being dispersed, underutilised and nearing end of design life. The need for a modern facility containing Council services and reduced operational costs was envisaged.

Council was granted \$14.6M from the Resources Community Infrastructure Fund, with a further \$1.4M contribution from Council in its adopted 3-year budget to enable the redevelopment of the Collinsville Community Centre and Showgrounds Precinct into a consolidated Community Hub.

The project is to include the consolidation of Councils Customer Service Centre, Library, Visitor Information Centre as well as the externally operated Telecentre and Gym. In addition, meeting spaces and a 300-seat multipurpose hall is to be provided to create a new Community Hub.

DISCUSSION/CURRENT ISSUE

Council commissioned independent engineering audits by RPEQ engineers and building Compliance Audits by an independent building certifier on the current state of the facilities at 11 Conway St to determine statutory upgrades required if existing facilities were to be renovated.

Date	Report Title	Author	Company
07/06/2024	Proposed Collinsville Community Hub – Provide Regulatory Advice	Lawrence Reck <i>Building Certifier</i>	Buildable Commercial Approvals
30/09/2024	Collinsville Building Condition Assessments – Structural Report	Brian Mayer <i>RPEQ 07448</i>	STP Consultants
02/10/2024	Collinsville Building Condition Assessments – Electrical Services Report	Shaun Marshall	STP Consultants
10/10/2024	Collinsville Building Condition Assessments – Mechanical Services Report	Amlan Choudhury <i>RPEQ 16732</i>	STP Consultants
12/11/2024	Collinsville Community Theatre & Collinsville Library & Administration Building Redevelopment Options Report	Aaron Chappell	RP Infrastructure

Key findings of these reports were:

- The existing structure including footings, slabs, walls ceilings stage and roof framing while compliant at the time of construction do not meeting the current building code requirements.

- Significant works would be required to upgrade the facility to comply with current Disabled access, Fire Safety and mechanical ventilation requirements.
- If proposed works to renovate the building occur, it would trigger the requirement to replace existing footings and structural elements which would require substantial demolition of the building and retrofitting of fire systems and mechanical plant and is not considered practical or economical.

If the existing building were to remain it could be maintained as is, which is equivalent to \$220k per annum currently. Any major upgrades would not be viable due to the issues outlined in the engineering reports.

FINANCIAL IMPLICATIONS

A Quantity Surveyor was engaged to establish estimated costs for the renovation of the existing community centre based on Concepts provided by Architects and included upgrade works listed in the Engineering and Certifiers reports to enable compliance with current building code regulations.

The same exercise was completed for the construction of the new Community Hub based on current working draft schematic design drawings.

Costings are summarised below.

- **Option A** Refurbishment / Alterations to existing Community Centre - QS cost estimate is: **\$24,075,000** excl GST.
- **Option B** Demolition of the existing Community Centre and construction of a fit for purpose new Community Hub - QS cost estimate is: **\$16,224,000** excl GST.

Construction costs will be further refined through value management to ensure the project costs do not exceed allocated budget.

CONSULTATION/ENGAGEMENT

Council, in collaboration with Cox and CA Architects, undertook an extensive consultation with the community, including targeted interviews with key users, community information workshop, information stall, student workshops and surveys, via the Online Engagement Portal.

Consultation was open from Thursday 5 December – Sunday 9 February 2025, for a period of 66 days. A total of 43 individual submissions, 122 contributions from students, 46 contributions from in-person information events were received during the consultation period.

The proposed multi-purpose community hub was well supported by majority of residents and community groups during consultation and targeted interviews with groups. A copy of the completed Consultation Report can be found in the appendices.

Internal Consultation was also carried out with key building users, Asset and Service Providers as outlined in the adopted project management plan.

STATUTORY/COMPLIANCE MATTERS

National Construction Code (NCC)
Whitsunday Regional Council Planning Scheme
Disability Discrimination Act 1992
Workplace Health and Safety Act 2011

RISK ASSESSMENT/DEADLINES

Council has entered into a funding agreement with the Qld State Government with key financial milestones to be met. Not approving Option B will see further delays to grant milestones and increased operational costs not covered by the grant.

STRATEGIC IMPACTS

Corporate Plan Reference:

Lead and improve the organisation's procurement, property and fleet functions across the organisation, including managing the centralised and specialised services to enable and achieve the operational and long-term objectives of Council.

Manage Council's property and building assets to ensure optimal community outcomes. Facilitate, foster and encourage region wide activities and programs that engage our community.

Provide high quality recreational facilities that are well utilised by the local community and visitors alike.

Provide fun, welcoming spaces that connect and engage the community through a variety of innovative resources, programs and activities. Connect with Traditional Owners within the region to recognise and support each group's rights and interests.

Improve Council's Asset Management Planning maturity and develop Long Term Financial Plans for all asset classes which are financially affordable over the long term.

Meet Capital Works Delivery targets and ensure budget, time, and quality is maintained.

Provide a fantastic experience for our community and visitors when using our open spaces, natural features, and facilities.

ATTACHMENTS

1. 20241839 Collinsville Community Centre - Building Compliance Advice [**11.3.1** - 4 pages]
2. ST P 24-1228 - Collinsville Building Condition Assessments - Electrical Services Reports [**11.3.2** - 25 pages]
3. ST P 24-1228- Collinsville Building Condition Assessments - Mechanical Services Report [**11.3.3** - 11 pages]
4. ST P 24-1228 Collinsville Building Condition Assessments - Structural Report [**11.3.4** - 26 pages]
5. Consultation Report - Collinsville Community Hub [**11.3.5** - 29 pages]



WE SIMPLIFY COMPLEX

07/06/2024

File No: 20241839

Aaron Chappell, Ranbury
6/52 MacAlister Street
Mackay QLD 4740

Lot 2, 11 Conway Street, Collinsville QLD 4804

Proposed Collinsville Community Hub - Provide Regulatory Advice

Dear Aaron,

1.	This advice has been specifically compiled to assist Whitsunday Regional Council, (the owner) to determine the applicable standards that apply to the alteration works proposed for the building, and for consequential remedial upgrade works. The report is compiled by way of review of relevant statute development /building legislation and other applicable commonwealth legislation pertaining to the construction of class 9B Public Assembly Buildings.
2.	The subject building is Collinsville Community Centre located at 11 Conway Street Collinsville. Community Assembly Building used as Theatre attracts BCA Class 9B.
3.	From the correspondence presented the original building appears to have initially been constructed in mid 1980s. (Prior to the introduction of the Building Code of Australia BCA)
4.	The council is considering a redevelopment proposal of the site which includes refurbishment of the insitu Community Centre building.
5.	The potential Building Work is being evaluated by the landowners and their representatives as to the extent of repairs /alterations the building needs to undergo.
6.	The repairs/refurbishments /alterations proposed for the building is <i>Code assessable building work</i> as defined by the <i>Building Act 1975</i> .
7.	As such <i>code assessable development</i> needs to comply with the <i>building assessment provisions</i> . The BCA is a code for the <i>building assessment provisions</i> . Standards referenced by the BCA are law and must be complied with when carrying out either accepted or code assessable development.
8.	The subject building was erected under <i>earlier building assessment provisions</i> . Which means earlier editions of the BCA and referenced Australian Standards applied to its construction?
9.	From the correspondence available & council search results, the building was constructed pre-BCA. Accordingly, the current building cannot comply with current legislation & referenced Australian Standards
10.	Qld Building Act 1975 includes provisions to recognise existing lawfully approved buildings and allow discretions to be granted when undertaking works on existing buildings
11.	The only authority having jurisdiction that can make such a discretionary decision is a building certifier engaged to assess a <i>building development application</i> .

ISO 9001-2015

ABN: 92 616 054 141 | www.buildableapprovals.com.au



12.	Sections 61, 68, 80 and 81 are the relevant sections of <i>the building act</i> that allow a regulator such as a building certifier to assess the <i>building development application</i> against these provisions.
13.	If a <i>building development application</i> was submitted to a <i>building certifier</i> for code assessment the <i>building certifier</i> engaged as the authority having jurisdiction to carry out <i>certification functions</i> would lawfully be allowed to decide if all or part of the existing building and/or the new work complies with all or part of the current building assessment provisions or earlier building assessment provisions.
14.	In this case the extent of works proposed to be undertaken & the potential subsequent works will invoke section 81 (1) as more than 50% of volume of the building. Resulting in the building having to comply with the current <i>building assessment provisions</i> .
15.	To make this aspect clear, the existing building would require upgrading to comply with the current NCC & Referenced Australian Standards.
Summary of Applicable Legislation	
Building Act 1975	Section 61 – this clause allows for the use of earlier building assessment provisions (opposed to current standards) ☐ Applicable ☒ Not Applicable
	Section 68 – this clause requires a Building Certifier to ensure that alterations undertaken within an existing building do not unduly reduce existing fire protections, level of fire resistance, spread of fire and emergency egress from the building. ☒ Applicable ☐ Not Applicable
	Section 81 – this clause applies where substantial building works comprising more than 50% of the building is proposed to occur within a 3 year period. ☒ Applicable ☐ Not Applicable
Building Regulation 2021	QFES – assessment & inspection by the referral agency QFES. ☒ Applicable ☐ Not Applicable (Per Building Regulations 2021, Schedule 1 (9))
Planning Act 2017	Town Planning Approval (Development Application) - Separate Advice should be sought to confirm if other Development Applications are required.



16.	From the design brief drawings & scope of works provided, I have undertaken a cursory review of the proposed development – please note the following NCC design parameters:					
NCC Edition	2022					
Building Use	Community Assesmbly Building					
Building Design Criteria	Building Part	Class	Rise in Storeys	Construction Type	Area	Volume
	Community Hub Building	9b	1	C	Approx 1022m ²	
NCC Table C3D3 Maximum size of fire compartments	Classification		Type A construction	Type B construction	Type C construction	
	5, 9b or 9c		Max floor area—8 000 m ²	Max floor area—5 500 m ²	Max floor area—3 000 m ²	
			Max volume—48 000 m ³	Max volume—33 000 m ³	max volume—18 000 m ³	
	Classification		Type A construction	Type B construction	Type C construction	
	6, 7, 8 or 9a (except for patient care areas)		Max floor area—5 000 m ²	Max floor area—3 500 m ²	Max floor area—2 000 m ²	
			Max volume—30 000 m ³	Max volume—21 000 m ³	Max volume—12 000 m ³	
Boundary setbacks	More than 3m					
Importance Level	Level 3					
Exit travel distances	20m or 20m to a point of choice to 2 exits (max 40m)					
Fire sprinklers	Required throughout the building as option for no Proscinium wall					
Fire hydrants	Coverage required throughout					
Fire hose reels	Coverage required throughout					
Smoke Hazard Management	Smoke Hazard Management The building must be provided with one of the following: (a) must be provided with automatic shutdown of any air-handling system (other than miscellaneous exhaust air systems installed in accordance with Sections 5 and 6 of AS 1668.1) which does not form part of the smoke hazard management system, on the activation of— (i) smoke detectors installed complying with Specification 20; and (ii) any other installed fire detection and alarm system, including a sprinkler system complying with Specification 17; and (b) other than in the case of a school lecture theatre, where the floor area of the fire compartment is more than 2000 m ² — (i) an automatic smoke exhaust system complying with Specification 21; or					



	(ii) if the building is single storey, automatic smoke-and-heat vents complying with Specification 22; or if the floor area of the fire compartment is not more than 5000 m2 (iii) and the building has a rise in storeys of not more than 2— (A) an automatic smoke detection and alarm system complying with Specification 20; or (B) a sprinkler system (other than a FPAA101D or FPAA101H system) complying with Specification 17.
Seismic Restraint	The following non-structural components of the building and their fastenings need to be designed for earthquake forces as required by AS1170.4. • Walls, partitions, ceilings that are not part of the structurally certified seismic-force-resisting system. • Lighting/ mechanical fixtures. • Ducts, cabling and piping distribution systems. • Fire suppression and sprinkler systems.
Sanitary facilities	Refer ABCB calculator here
Emergency lighting & exit sign	Required throughout
Disability Access & Facilities	Access for people with disabilities is required throughout the building.

Please feel free to contact me on 0407551842 if you would like to discuss the items noted or require any further assistance in relation to this request.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'L. Reck', written in a cursive style.

Lawrence Reck
Building Certifier

STRUCTURAL
CIVIL
ELECTRICAL
MECHANICAL
HYDRAULIC
FIRE
VERTICAL
TRANSPORT
SEISMIC



Collinsville Building Condition Assessments

CONWAY STREET COLLINSVILLE

ELECTRICAL CONDITION REPORT



RP INFRASTRUCTURE
Converting visions to reality

RP INFRASTRUCTURE

STP24-1228

DOCUMENT STATUS

Rev.	Issue	Project Consultant	Approved for Issue		
			Approved by	Signature	Date
A	Preliminary Issue	Shaun Marshall			2 October 2024

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1. Introduction

STP Consultants were engaged by RP Infrastructure to undertake Building Condition Assessments and provide commentary on compliance with current Australian Standard Requirements for three council buildings on Conway Street in Collinsville:

These buildings were:

- a) Collinsville Community Centre (11 Conway Street, Collinsville)
- b) Collinsville Library (37 Conway Street, Collinsville)
- c) Collinsville Connect Telecentre (37 Conway Street, Collinsville)

A site inspection was conducted on the 25th of September by STP Consultants and RP Infrastructure. The inspection was of visual nature only, no items were tested or operated during the inspection. The inspection was also non-obtrusive, and no ceiling spaces or cable pits were accessed.

No existing site drawings have been made available at the writing of this report.

1.1 Collinsville Community Centre Existing Arrangement

The Collinsville Community Centre building consists of an auditorium, stage with associated basement and mezzanine, ticket office, concourse and kitchens. The show ground oval behind the community centre is also part of the same facility and is supplied from the sites main switchboard.



Figure 1 - Collinsville Community Centre and Showgrounds

1.2 Collinsville Library Existing Arrangement

The Collinsville library is a single story office structure that has a shared supply with the telecentre. All the main infrastructure (switchboard and communications) are located on or within the library building but also supply the telecentre.

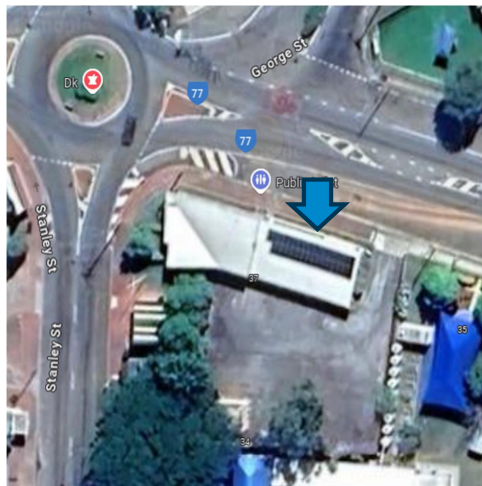


Figure 2 - Collinsville Library

1.3 Collinsville Telecentre Existing Arrangement

The Collinsville Connect Telecentre is at the same address and shares all electrical infrastructure and connections with the library.

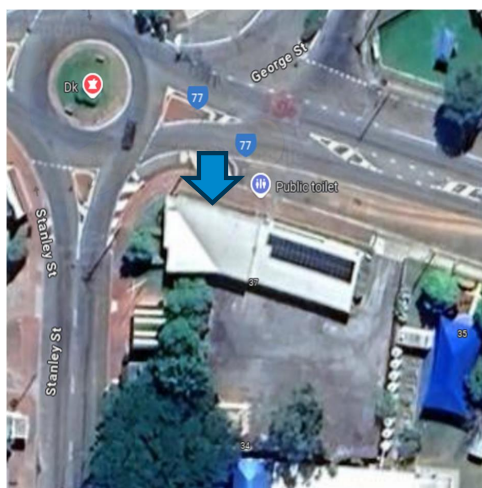


Figure 3 - Collinsville Connect Telecentre

2. Executive Summary

2.1 Collinsville Community Centre and Showgrounds

The existing Community Centre is in a serviceable condition but does require some upgrades to bring the building up to current Australian Standards.

In general, the electrical installation appears to be in working condition with some systems that need to either be installed or brought up to the current standards if the building is to continue to be used.

The recommended upgrades would not be overly intrusive and could be facilitated overtime in coordination with other discipline upgrades should there be any required.

2.2 Collinsville Library and Telecentre

The existing library and telecentre were in good condition with minor items that could be upgraded but are not required for the facilities to remain operational and compliant with old and new standards.

3. Observations

3.1 Collinsville Community Centre

3.1.1 Ergon Supply

The community centre is currently supplied from a pole mounted 200kVA ergon transformer.

If the usage of the building is expected to change or the requirements on the site are expected to increase, an application should be submitted to Ergon to notify them, and any required upgrades will be put forward at this time. However, as the building is not expected to change in use, this supply should remain sufficient.



3.1.2 Main Switchboard

The main switchboard at the community hall was in good condition.

The main switchboard contained multiple metering arrangements for different "customers" and supplied multiple distribution switchboards around each respective site.

In total, there were 5 different metering installations within the site main switchboard:

- 1- The Hall itself
- 2- The Showgrounds/Arena
- 3- Community power (carpark lights etc)
- 4- The Kitchen-DB
- 5- Childcare Centre Switchboard

Of note, some of the above are final sub-circuit supplies which do not currently have RCD protection. These circuits require upgrading to comply to AS3000. However, most of the circuit breakers within the main switchboard and outgoing sub-main supplies to other switchboards, these do not require RCD protection.

The main switch within the switchboard was not accessible. The client was not able to source the key to unlock the main panel for the switchboard. Photos were taken as best as possible.



Figure 4 - Main Switchboard Metering



Figure 5 - Outgoing Breakers from MSB

3.1.3 Consumers Mains

The size and condition of the existing consumers mains on site was not able to be confirmed. Existing drawings would need to be provided to provide commentary on the existing size and suitability for the original installation.

An electrical contractor would be required to attend site to test the existing mains if there are any reasons or concern with the condition of these existing cables.

3.1.4 Generator

The Hall has recently (April 2022) had a new generator and manual transfer switch cubicle installed at the site.

The 250A MTS cubicle controls the 243A generator set positioned in front of the site main switchboards.

These two pieces of infrastructure are in great condition and have only been installed for a couple of years.



Figure 6 - Generator Label

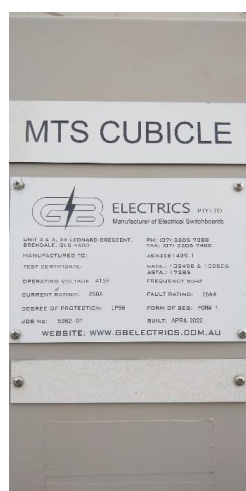


Figure 7 - MTS Cubicle Labelling

3.1.5 Sub-Mains

The size and condition of the existing sub-mains between the site main switchboard and other switchboards or services on site was not able to be confirmed. Existing drawings would need to be provided to provide commentary on the existing size and suitability for the original installation.

An electrical contractor would be required to attend site to test the existing mains if there are any reasons or concern with the condition of these existing cables.

3.1.6 Sub-Boards

There were multiple sub-boards installed within the Hall.

3.1.6.1. Kitchen Sub-Board

The kitchen sub-board is old and in average condition. Of note, there are final sub-circuits located on these boards that are not currently protected by RCDs that require upgrading to comply to AS3000.

The breakers within these switchboards are old and may be difficult to replace like for like moving forward.

The breakers are labelled sufficiently; however, it is typical that a circuit schedule for the entire board to be provided that also shows the size of the sub-mains to the board, and where the board is supplied from. This is not currently available at the site.

The board has been expanded on and is currently at capacity with no room for additional breakers with all 18/18 pole locations utilized.

A new 48 pole distribution switchboard with RCD protection for all required circuits is recommended at this location to also facilitate spare poles and capacity for future circuits.



Figure 8 - Kitchen Sub-Board

3.1.6.2. DB-Community Hall

The community hall DB is like the kitchen DB. The board is in average condition and is rather old. There are also final sub-circuits located within this switchboard that are not currently protected by RCDs that require upgrading to comply to AS3000.

The breakers within this switchboard are old and may be difficult to replace like for like moving forward.

The breakers are labelled sufficiently; however, it is typical that a circuit schedule for the entire board to be provided that also shows the size of the sub-mains to the board, and where the board is supplied from. This is not currently available at the site.

The board is nearing capacity with 10/12 available circuit breaker locations utilized.

A new 24 pole distribution board with adequate RCD protection for all required final sub circuits is recommended at this location.

The existing board is also currently single phase with no three-phase supply. This does limit what this switchboard can supply and should be considered to be upgraded to a three phase connection pending what additional infrastructure the client may want or need to supply from this location in future.

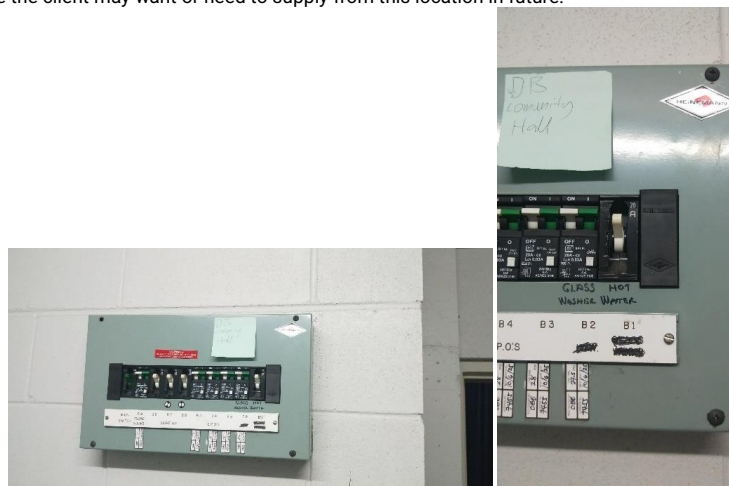


Figure 9 - DB Community Hall

3.1.6.3. DB-Stage (Sub-Board A)

The Stage Distribution switchboard (Sub-Board A) is in a serviceable condition. There are also final sub-circuits located within this switchboard that are not currently protected by RCDs that require upgrading to comply to AS3000.

The breakers within this switchboard are old and may be difficult to replace like for like moving forward.

The breakers are labelled sufficiently; however, it is typical that a circuit schedule for the entire board to be provided that also shows the size of the sub-mains to the board, and where the board is supplied from. This is not currently available. The board does have provision for this schedule holder however no schedule has been provided.

The board has some spare capacity with 10 spares (20/30 spaces used).

This switchboard is suitable for continued use with some minor refurbishments (RCD installation, pole filler installations) and does not require a replacement.



Figure 10 - Stage DB



Figure 11 - Circuits without RCDs



Figure 12 - Missing Pole Fillers

3.1.6.4. AC Distribution Switchboard

The mechanical plant has its own distribution switchboard. This switchboard was in fair condition. The board only supplies the two air conditioner circuits. However, neither of these supplies has an RCD installed as required by AS3000.

The existing load centre with the 2 x 3 phase supplies for the 2 units is full with no available room for expansion.

This switchboard should be replaced with a new suitable sized board capable of housing the new RCDs for the conditioners and to have the isolator and circuit breakers on the same escutcheon.



Figure 13 - AC DB

3.1.7 Security System

There was no security system installed at the community hall. It was noted that a few PIR detectors were positioned around the facility, these may be for lighting control or intruder detection. Though no security panel or the like was present.

Client to confirm and determine if a security system is required to the building moving forward.

3.1.8 Fire Detection and Alarms

The site currently contains no fire detection system(s).

Per the fire plan below, extinguishers and hose reels are located throughout the building, however no detection or occupant warning is provided.

Per the Building Compliance Advice report, this is non-compliant and requires upgrading.



Figure 14 - Fire Layout

On another fire related note. The comments from the building certifier suggest that sprinklers are required to the building as no proscenium wall is present. A hydraulic or fire consultant would be required to provide further input on the required upgrades as part of this project per the above.

3.1.9 Internal And External lighting

The internal lighting at the hall is comprised of old and dated technology. It is recommended that new more energy efficient lighting be installed in place of the existing lights.

No lux readings were taken on site to confirm compliance with AS1680 or the NCC requirements for safe movement. These should have complied at the time of installation and covered on previous certification. If the fittings are upgraded as recommended, a new layout and new certification can be provided.

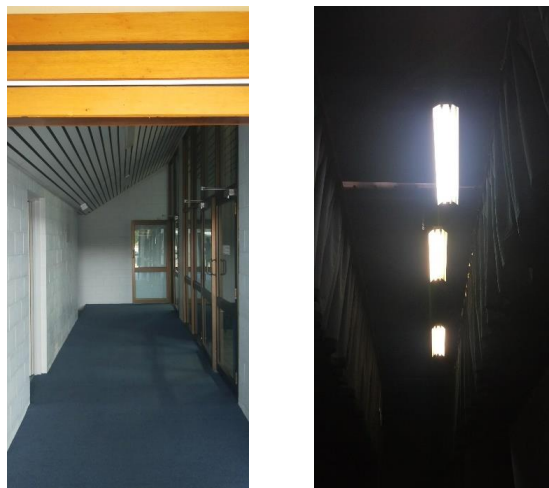


Figure 15 - Example Internal Lighting

There are a few carparks on site with pole-top luminaires installed. There is no certification requirements for these external fittings under the NCC, however it is best practice to comply to both AS1158 and AS4282.

The existing installation was not tested for compliance during the inspection.

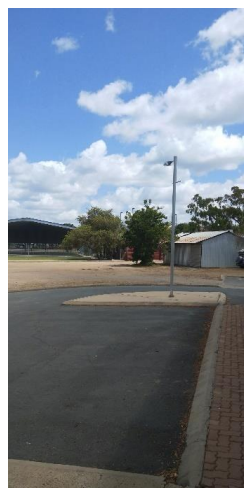


Figure 16 - Existing Pole-Top Luminaire

3.1.10 Emergency and Exit Lighting

There were no obvious emergency lights installed within the hall building (could be unlabelled fittings with emergency components). Emergency lighting symbols were shown on the switchboards throughout the facility suggesting that emergency luminaires are present, these just were not located.

Exit lights are only installed to the 4 doors exiting the main auditorium with no exit lights over the final exit doors. Instead, paper signs with text are installed above these final exits.

Both new emergency and exit lights are required to be installed within the building to achieve NCC compliance.



Figure 17 - Exit Signs and No Emergencies

3.2 Collinsville Library & Telecentre

3.2.1 Ergon Supply

The site is supplied from an aerial connection onto the library building from an Ergon pole on the corner of Conway Street. The size of this aerial connection is unknown as are the fuses that protect the installation. As the site only has a whole current meter it can be assumed that this connection is less than 80A - 3phase as this would trigger the requirement to install current transformers which are not present.



Figure 18 - Site Overhead Supply

3.2.2 Main Switchboard

The site main switchboard is in good condition. It is a standard 60 pole 250A panel board with a 160A main switch. The meter panel is installed atop the distribution section of the main switchboard for the library that also supplies the tech centre. Both buildings are under the same metering account.

All out going sub-mains from this switchboard that require RCD protection have RCD protection installed, the switchboard is missing some minor labelling that should be touched up for accuracy when the switchboard has its next RCD test.

The switchboard also has space for additional circuit breakers as required also (20+).

No concerns with this existing switchboard.



Figure 19 - Existing MSB

3.2.3 Consumers Mains

The size and condition of the existing consumers mains on site was not able to be confirmed. Existing drawings would need to be provided to provide commentary on the existing size and suitability for the original installation.

An electrical contractor would be required to attend site to test the existing mains if there are any reasons or concern with the condition of these existing cables.

3.2.4 Sub-Mains

The size and condition of the existing sub-mains between the site main switchboard and other switchboards or services on site was not able to be confirmed. Existing drawings would need to be provided to provide commentary on the existing size and suitability for the original installation.

An electrical contractor would be required to attend site to test the existing mains if there are any reasons or concern with the condition of these existing cables.

3.2.5 Sub-Boards

The only sub-board at the site located up within the telecentre building. This board is supplied from the site main switchboard and distribution section at the library.

The switchboard is in good condition and located internally to an office space.

All outgoing final subcircuits within this switchboard have RCDs installed as required.

The testing schedule was also up to date with the next test due next year (2025).

The board does only have a few spare poles (2-3) spare for any additional circuits required throughout the telecentre half of the site. The board could be upgraded to house additional circuits if required.



Figure 20 - Existing Telecentre DB

3.2.6 Security System

The library notably had CCTV cameras installed around both the external perimeter and internally along side an Inner Ranger (Integritti) head end security panel.

All the hardware installed appeared to be relatively new and in working condition. No requirements for any upgrades for any code compliances and can continue to be used.



Figure 21 - Integritti Innerange Panel

3.2.7 Fire Detection and Alarms

No fire detection was present at the exiting library. Per the NCC there would be no requirements for this building to have any detection installed as it does not trigger any of the clauses triggering requirements.

3.2.8 Solar

A 15kW Sungrow solar system is installed at the site per the inverter near the main switchboard. The panels and inverter were not inspected during the inspection but were noted to be present. There are no requirements to have solar or the like on buildings of this age. However, all new buildings are required to have provision for PV solar systems as per the new NCC.



Figure 22 - Solar Inverter

3.2.9 Internal lighting

The internal lighting within both the library and the telecentre is of older technology and should be upgraded to LED to reduce energy consumption on the site. However, the existing fittings are in working condition and can continue to be used as there are no code compliances forcing an upgrade to be required.



Figure 23 - Examples of Lights

No lux readings were taken on site to confirm compliance with AS1680 or the NCC requirements for safe movement. These should have complied at the time of installation and covered on previous certification.

3.2.10 Emergency and Exit Lighting

No emergency or exit lighting is installed within the building(s).

Per the NCC – emergency and exit lighting is only required if the levels floor area exceeds 300m².

If the building the library and the tele-health are being treated as separate buildings neither exceeds the 300m² requirements. However, if they are treated as a single building, they are over this 300m² trigger and would require the installation of emergency and exit lighting.

Certifier required to confirm if they are a single building to confirm upgrade requirements.

4. Discussion / Conclusion

No existing services drawings were provided at the writing of this report. Only items that were visually inspected on site have been commented on.

The below is based on the visual inspection(s) only.

4.1 Collinsville Community Centre

The community centre over all is in a serviceable condition but does require upgrades to remain operational and to be brought up to standard to comply with current and old standards.

The requirements for upgrade are as follows:

- New Emergency and Exit lighting to be installed throughout in accordance with AS2293 and the NCC.
- New smoke detection and alarms installed through in accordance with AS1670 and the NCC.
 - o Additional fire protection may be required also in the form of smoke exhaust and sprinklers etc.
 - o A fire consultant would be required to provide this level of commentary.
- RCD protection is required to be installed on all final sub-circuits as per AS3000.
- The main switchboard currently has old style metering installed. Ergon is currently upgrading all metering to remote read meters. This site's switchboard would require this upgrade however the MSB should not require further upgrading to facilitate this.
- Existing lighting could do with an upgrade to LED to be more energy efficient and ensure compliance to AS1680 and the NCC – further testing would be required to confirm.
- New distribution switchboards are recommended to allow for space and spares within the building as well as to upgrade the existing infrastructure to more modern breakers that are readily available for any replacements that may need to be completed in the future.

4.2 Collinsville Library and Telecentre

The library and tech centre are in great condition and require very little works to be undertaken to remain operational and compliant.

Emergency and exit lighting is the only item missing from these buildings that is required. Anything else would just be to future proof the building and to provide new technologies that aren't required but are nice to have, for example the general area lighting to be upgraded to LEDs etc.

4.3 General Discussion Point

One other consideration for both sites is whether electric vehicles are going to become a part of the council's fleet anytime soon to make some provisions now for charging locations at the sites. These do require some additional infrastructure both within the switchboards and in ground pending where the charger(s) may be located.

These are now a requirement under the new NCC for new buildings, however there is no reason to incorporate these into existing buildings unless the client is aware of the demand for them in the future.

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Collinsville Building Condition Assessments

CONWAY STREET, COLLINSVILLE

MECHANICAL SERVICES CONDITION REPORT



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STP24-1228

Document Status

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1	Preliminary Issue	Amlan Choudhury			10/10/2024

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1. Introduction

STP Consultants were engaged by RP Infrastructure to undertake a condition assessment of Mechanical Services and provide commentary on compliance with current Australian standard requirements for three council building on Conway Street in Collinsville.

These buildings were:

- a) Collinsville Community Centre (11 Conway Street, Collinsville)
- b) Collinsville Library (37 Conway Street, Collinsville)
- c) Collinsville Connect Telecentre (37 Conway Street, Collinsville)

STP carried out a site investigation of the building on the 25th of September 2024 to investigate the issues. In attendance were the representatives from the council.

1.1 THE SITE

It is believed that the original buildings have initially been constructed in 1984.

Collinsville Community Centre

The Collinsville Community Centre consists of an auditorium, stage with associated basement and mezzanine, ticket office, concourse and kitchens. The structure has been constructed using concrete, ground bearing slab with core filled masonry walls and steel framed roof with steel cladding.

Collinsville Library

The Collinsville Library is a single-story structure with concrete ground bearing slab floor, double brick walls with structural concrete column and beam frame and steel clad roof. The building also contains 2 cantilevered concrete awnings extending outwards from the main elevation on the Conway Street side.

Collinsville Connect Telecentre

The Collinsville Connect Telecentre has been constructed at the same address and adopting the same construction techniques as the library

1.2 BASIS OF INFORMATION

The following is the basis of information used for this assessment report:

- A non-intrusive walk through and visual appraisal of the mechanical services elements.
- A review of onsite conditions.
- A review of existing documentation. No as built mech drawings or O&M is available.
- Verbal information provided by facilities operators.

This report is not a certification, a warranty or guarantee and has been scoped in accordance with the instructions given and the time allowed.

1.3 LIMITATION AND DISCLAIMERS

The following limiting factors are to be considered when applying the information provided within this report:

- Inspection by STP Consultants was of a visual nature only.
- No equipment was operated or tested to confirm its functionality.
- Concealed spaces and ceiling spaces were not accessed during this inspection.
- Some of the Information was provided to STP in the form of verbal information from SGS representative.
- Warehouse was not inspected during the inspection and excluded from this report.

2. Existing installation & Conditions

2.1 SYSTEM DESCRIPTION

We were unable to find any on site operation and maintenance manual (O&M Manual) including any As built drawings.

Collinsville Community Centre

The Auditorium, foyer and front offices are served mainly by two Split ducted units Temperzone made model no- ISD840KBV/OSA 840RKTBV. The condensers are mounted on slab next to the plantroom and the indoor units are located within the plantroom. The ductwork from indoor units are joined together and the spaces are served by common supply and return duct. The outside air to the units is via a louvre on the plantroom wall. Refer image 1, 2 & 3 below :



Image 1- Condenser Deck



Image 2- Plantroom



Image 3- Plantroom Louvre for OA connection

The front office has a Kelvinator Room Air-conditioning and no mechanical ventilation.



Image 4- Front Office Box/Room AC

The Kitchen is no conditioned and has low side wall type canopy. The roof mounted exhaust fan serving the canopy is just right above the kitchen canopy (refer image 5 & 6). We note that the dishwasher has no hood/canopy over it.



Image 5- Kitchen Canopy



Image 6- Kitchen Exhaust Fan

Collinsville Library

The library is served by 2 off 8kW daikin and 1 off 8kW fujitsu Wall mounted splits. There is no mechanical ventilation provided.

Collinsville Connect Telecentre

The telecentre has an office, store room, internet café and amenities. The Office has an old room air conditioner which is out of order and a Fujitsu wall mounted split. The store room is served by a Daikin unit and the internet café is served by 2 Daikin units. the Telecentre has no mechanical ventilation. the Amenities also has no mechanical ventilation.

2.2 FINDINGS

Collinsville Community Centre

Split ducted units

We believe the original split ducted units were installed with the building back in 1984 but then replaced within 13 years or so. From the serial no we found out that the split ducted units were manufactured in 2011. The fan guards and cabinets are started to show signs for corrosion (refer image). The coils are in good condition but damaged it some spots (refer image).



Image 5- Condenser Fan



Image 6- Damaged Condenser coils

Based on AIRAH's (The Australian Institute of Refrigeration, Air conditioning and Heating) DA19 HVAC&R Maintenance manual the economic (service life) of the AC units is 10-15 years (refer image-7 below). so the units are near the end of their economic life and should be replaced within 5 Years. Based on above we rate the condition of the units to rating of 6.

Table 2.1

Economic (service) life of equipment

Equipment	Economic life (years)
Air conditioning unit – Room type	7 – 10
Air conditioning unit – Split units (up to 10 kW)	7 – 10
Air conditioning unit – Package (10 kW – 100 kW)	10 – 15
Air conditioning unit – Split package (10 kW – 100 kW)	10 – 15
Air handling unit – Proprietary line central station single or multiple zone	20 – 25

Image 7- Screenshot for DA19 Manual

The ductwork is extremely dirty and in poor condition (refer image 8). We believe that the original install was back in 1984, some of the ductwork may have changed over the years. Originally the plantroom was a common return air plenum and outside air was via the big louver above the double doors. This has been changed and a smaller louver (refer image-3) was installed at some point of time with a direct duct connection to the return air duct. we do not believe the ductwork insulation will meet the current NCC requirements.



Image 8- Common Return air duct inside.

Room AC serving Front office

The room AC serving the front office is in poor condition. We believe its been installed more than 7years ago and passed its economic life (refer Image 9). We rate the condition of the units to rating of 7.



Image 9- Room AC

Amenities

The Male female and staff toilets have no mechanical ventilation, the skylights/Vents have been blocked off. We do not believe the windows and louvres will comply with Natural ventilation requirements.



Image 10- Amenities vent blocked off

Kitchen

The kitchen canopy seems to only cover the range and grille plate and not the deep friers (Refer image 11&12). Note that atleast 150mm overhang is required for the kitchen exhaust hood as per AS1668.2. we note there is no hood over the dishwasher, which may be required based on equipment input power. The fan looks quite old and we believe its near the end of its economic life.



Image 11 - Kitchen Canopy



Image 1 - Roof mounted Kitchen exhaust fan

Collinsville Library

The two 8kW Daikin units have R32 Refrigerant so we believe they have been installed within 5 Years and looks to be in fair condition. We would rate them a 3 to 4 condition rating.

The Fujitsu unit (8kW) labelled ACU-090 on the other hand looks a bit older and in poor condition. The pipework insulation is deteriorating, and the insulation is domestic type (refer Image 13 &14) which will not meet current NCC requirement. We rate this unit to a 6-condition rating.



Image 13- ACU-090 Pipe Deterioration



Image 14- ACU-090 Coil Condition

Collinsville Connect Telecentre

The front office with a redundant Room AC and a new Fujitsu wall mounted unit is in good condition. We believe the wall mounted unit was installed because the Room AC has failed. We note there is no mechanical ventilation provided to the office.

The store room at the back of the office has a Daikin unit, although it was installed within 5 years or so its in not a good condition. The pipe insulation that has been used has deteriorated (refer image-15 below). We rate this system to a 6 to 7 rating.



Image 15- ACU-089 pipe insulation deterioration

The café that has 2off Daikin units looks to be in fair condition. We note there are no mechanical ventilation allowed.

3. Executive Summary & Compliance Issues

Collinsville Community Centre

The community centre ducted split systems are inadequate to provide mechanical ventilation requirements for the centre without additional outdoor precondition unit. The Amenities will either require enough operable windows and door directly outside to meet the Natural ventilation requirement or it will require new mechanical ventilation systems. The Kitchen exhaust system doesn't comply with AS668.2 in terms for overhung required over cooking equipment. The exhaust system looks too old and will require new hood and extraction system. Also being a 9b assembly building the centre will require either an Automatic smoke exhaust or Smoke-and-heat vents as per NCC (refer screenshot below). Note that this needs to be confirmed by a building certifier.

— **E2D18 Class 9b – assembly buildings: theatres and public halls** [2019: Table E2.2b]

(1) This clause applies to a Class 9b *assembly building* where the building or part of the building is used as a theatre or public hall which—

- (a) is a *school* assembly, church or community hall, and has a *stage* and any *backstage* area with a total *floor area* of more than 300 m²; or
- (b) is not a *school* assembly, church or community hall, and has a *stage* and any *backstage* area with a total *floor area* of more than 200 m²; or
- (c) has a *stage* with an associated rigging loft.

(2) A building or part of a building referred to in (1) must be provided with—

- (a) an *automatic smoke exhaust system* complying with *Specification 21*; or
- (b) if the building is single *storey*, *automatic smoke-and-heat vents* complying with *Specification 22*.

Options **Guide**

State variations

NSW

Print Clause

Save Clause

Copy Clause

Email

Image 16 – screenshot from NCC

Collinsville Library

The library has no mechanical ventilation and therefore doesn't meet the requirements of NCC. Note that as per NCC either Natural ventilation, mechanical ventilation or Air-conditioning complying with AS1668.2 is allowed. Natural ventilation with air-conditioning is not an option.

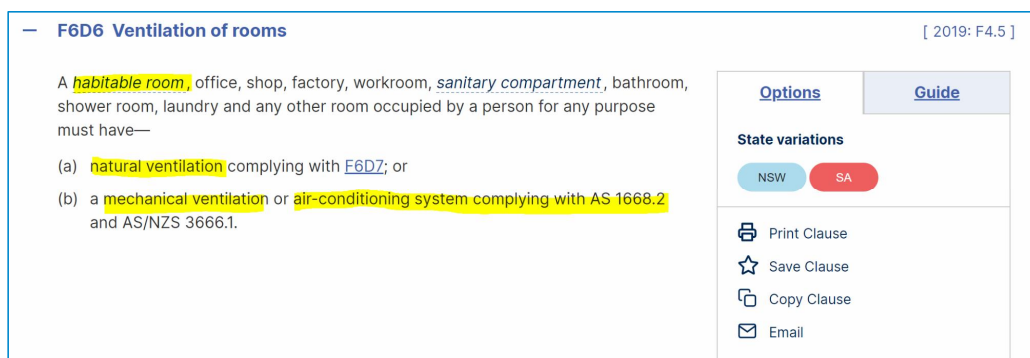


Image 17 – screenshot from NCC

Collinsville Connect Telecentre

The connect telecentre has also no mechanical ventilation and thus does not meet current NCC requirements.

We believe the above mentioned buildings do not meet the current NCC requirements and we would recommend engaging a building services consultant to design compliant Airconditioning and Mechanical ventilation systems. STP can provide a fee proposal if required.

I trust this information meets your requirements at this stage.

Yours faithfully,
STP Consultants

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Collinsville Building Condition Assessments

CONWAY STREET COLLINSVILLE

STRUCTURAL REPORT



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4.1.4 Roof Leakage	21
4.2 Collinsville Library & Telecentre	21
The Collinsville library was observed to be generally in good condition. Based on advice from onsite staff that no further moisture ingress has been observed since roof, it is anticipated that moisture damage observed to top of walls would not worsen.	21
With regards the cracking to the concrete awning, this is not anticipated to worsen provided that the waterproofing paint system is maintained.	21
Cracking due to footing movement is minor and not of structural consequence Given age of building it is not anticipated that cracking will significantly worsen over time.	21
Water damage around the windows is anticipated to continue during peak rainfall periods. While only minor damage currently, at some point in the future, windows and flashing would need to be replaced to rectify this item.	21
Rotting of rear veranda support posts is a structural issue and extent of damage is sufficient to reduce structural adequacy of arrangement on some posts.	21
In order to rectify, we would recommend replacing any timber posts where extent of rotting has extended past lower fixing bolt hole location. Other posts where rotting has not extended this far may be cut off 20mm above top surface of concrete slab, ensuing end of cut post remains unpainted. All steel brackets to be stripped back to bare metal and treated with suitable corrosion protection system.	21
On the telecentre where damage to the paint work has been observed, based on observation from staff that ongoing leaking issues have been resolved with installation of new roof we would recommend that these ceilings are repainted.	21
Appendix :	22

1. Introduction

STP Consultants were engaged by RP Infrastructure to undertake Building Condition Assessment and provide comment on compliance with current Australian Standard Requirements for three buildings on Conway Street, Collinsville.

These buildings are:

- a) Collinsville Community Centre (11 Conway Street., Collinsville)
- b) Collinsville Library (37 Conway Street, Collinsville)
- c) Collinsville Connect Telecentre (37 Conway Street, Collinsville)

1.1 Collinsville Community Centre Existing Arrangement

The Collinsville Community Centre consists of an auditorium, stage with associated basement and mezzanine, ticket office, concourse and kitchens.

The structure has been constructed using concrete, ground bearing slab with core filled masonry walls and steel framed roof with steel cladding.

Existing structural drawings for this building were provided to STP Consultants for review.

Images 1 and 2 below show the external elevation of the building and a satellite view of the site.



Image 1 – External Elevation of Collinsville Community Centre



Image 2 – Satellite View of Site (source: Google Earth)

1.2 Collinsville Library Existing Arrangement

The Collinsville Library is a single story structure with concrete ground bearing slab floor, double brick walls with structural concrete column and beam frame and steel clad roof. The building also contains 2 cantilevered concrete awnings extending outwards from the main elevation on the Conway Street side.

Images 3 & 4 below show the elevation of the building and a satellite view of the site.



Image 3 – External Elevation of Collinsville Library



Image 4 – Satellite View of Site (Source: Google Earth)

1.3 Collinsville Connect Telecentre Existing Arrangement

The Collinsville Connect Telecentre has been constructed at the same address and adopting the same construction techniques as the library. STP were advised that the roof cladding of this structure

Images 5 & 6 below show the elevation of the building and a satellite view of the site.



Image 5 – External Elevation of Telecentre



Image 6 – Satellite View of Site (Source: Google Earth)

2. Executive Summary

2.1 Collinsville Community Centre

Existing structure footings, walls and roof framing are not in accordance with current Australian standard code requirements. Structure is generally in serviceable condition, although ongoing maintenance issues related to water ingress into the basement and cracking of walls is expected to continue. The rectifications required to rectify these ongoing issues would require extensive removal and replacement of existing footings which is not considered practical.

It is noted that roof cladding and structure was damaged by cyclonic winds in March 2017 – as the roof structure has not been upgraded since this time, in the event of a similar cyclonic event in future, similar damage to the roof cladding and structure would be expected.

2.2 Collinsville Library & Telecentre

Existing structures were observed to be generally in good condition with minor cracking to suspended concrete awnings. Issues relating to water ingress through the roof appear to have been rectified by installation of new roof sheeting recently.

Existing structural drawings were not available for these structures, therefore comprehensive analysis against current Australian Standard requirements was not possible. It was noted, however, based on visual observations, that aspects of existing structure which could be visually inspected were not to current Australian standard requirements.

3. Observations

3.1 Collinsville Community Centre

Cracking of up to 5mm width was observed to perimeter retaining wall in basement. Pattern of cracking would indicate footing movement was the primary cause of this damage.



Image 7 – Cracking to Basement Retaining Wall

Waterproofing membrane was observed to have been installed to the lower courses of block to the perimeter of the basement. This appears to have been installed as a means of preventing moisture from seeping through walls. It is noted, however that installing waterproofing on the inside of a wall can trap moisture within the wall, accelerating corrosion of wall reinforcement.



Image 8 – Water-proofing to Inside Face of Basement Wall

Timber floor framing above the south-west facing wall of the basement was observed to have rotted. Tannin staining to face of the wall under this rotted timber indicates that some moisture had been seeping through from above. Inspect of wall arrangement above this area revealed that existing roller door over has been installed behind the line of basement wall below, therefore providing a path for moisture ingress into the basement below.



Image 9 – Rotting Timber Framing over Basement Wall



Image 10 – Tannin Staining to Face of Block Wall

Basement slab was observed to be cracked and the slab was observed to have efflorescence staining across the surface. While the cracking appears to have been caused by concrete shrinkage and is not considered a structural problem, the presence of the staining to the surface of the slab would indicate that during peak rainfall periods, moisture is seeping up through the crack and into the basement.



Image 11 – Cracking to Concrete Floor Slab



Image 12 – Efflorescence Staining to Surface of Basement Slab

Moisture staining to the surface of a strip drain installed to perimeter of basement indicates that water has previously accumulated in these drains. It was noted that the drains fall to a sump with submersible pump, however the submersible pump was not operational at time of inspection.



Image 13 – Moisture Staining to Existing Strip Drain.

Some minor corrosion was observed around a steel floor support post which had been cast into the slab. The extent of damage observed was not considered structural at this time, however could be expected to worsen if moisture continues to infiltrate the basement.

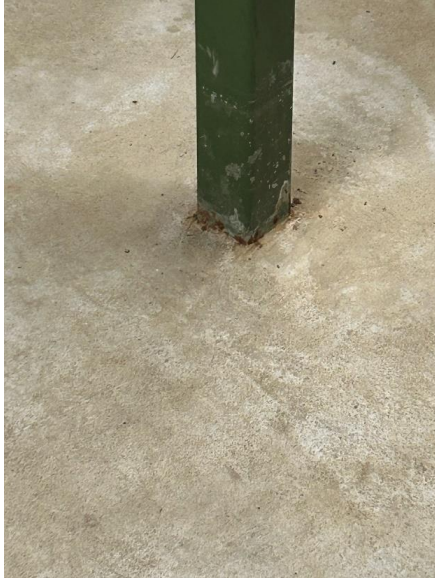


Image 14 – Minor Corrosion at Cast in Steel Post

Cracking of up to 1mm width was observed to the upper level block walls around the stage structure indicating movement of footings.

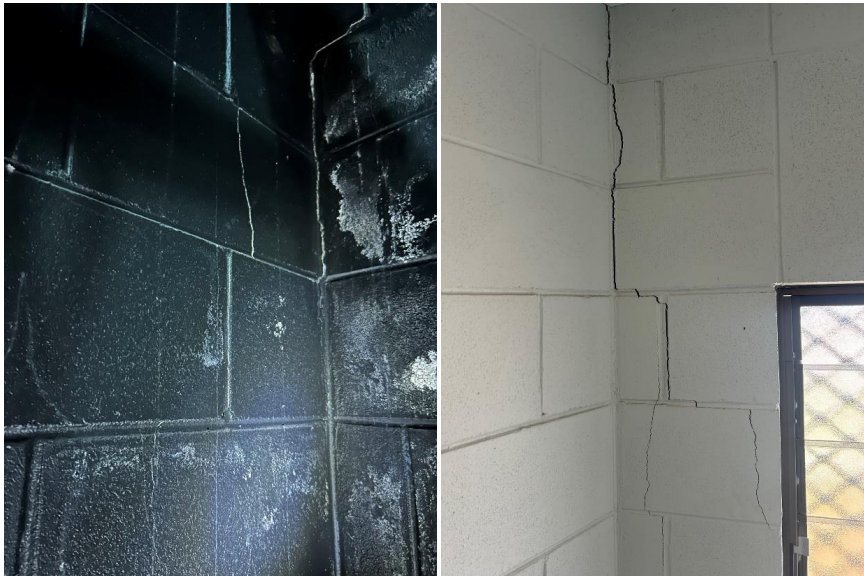


Image 15 – Example of Cracking to Upper Level Walls

Efflorescence staining was observed to the inside face of block walls in multiple locations indicating moisture ingress through the walls. It was noted that council advised that the external perimeter of the building had recently been painted. It is expected that this new painting would impede moisture ingress through walls for the next 5-10 years.

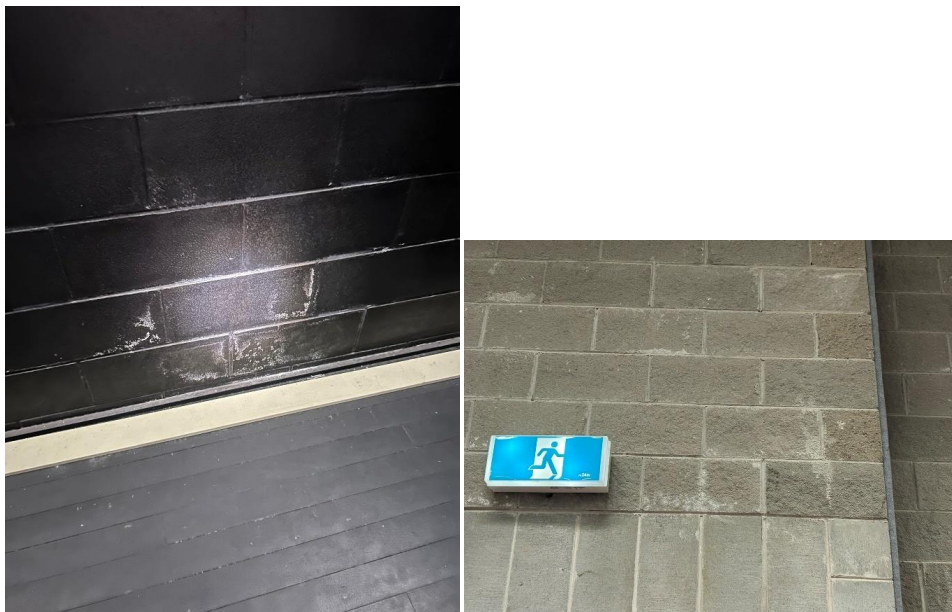


Image 16 – Examples of Efflorescence Staining to Upper Level Walls.

Internal stud walls were observed to have shifted in relative position to the perimeter walls from their original location indicating movement of footings.



Image 17 – Gap Between Internal Stud Wall & Perimeter Block Wall

Damage was observed to ceilings of men's toilet, women's toilet and kitchen corridor indicating moisture ingress through roof structure.



Image 18 – Ceiling Damage to Men's Toilet



Image 19 – Ceiling Damage to Woman's Toilet



Image 20 – Staining to Ceiling at Kitchen Corridor

A gap between cornice and ceiling cladding was observed in the children's toilet.



Image 21 – Gap to Cornice & Ceiling in Children's Toilet

Damage to cladding adjacent kitchenette would indicate water is leaking from roof framing during peak rainfall times



Image 22 – Damage to Parapet Cladding Adjacent Kitchenette

Ceiling was observed to have collapsed in front of kitchen servery. Exposed ply and timber framing heavily moisture stained indicating leaking from adjacent roof structure.

3.2 Collinsville Library

Cracking to the cantilevered concrete awnings indicates that reinforcement within concrete has been exposed to moisture in the past and has partially corroded and expanded. It is noted that the cracks have been painted over and the cracks have not reflected through this paint system as of yet. This would indicate that the paint system has been effective in restricting moisture ingress and reinforcement is not actively corroding currently.

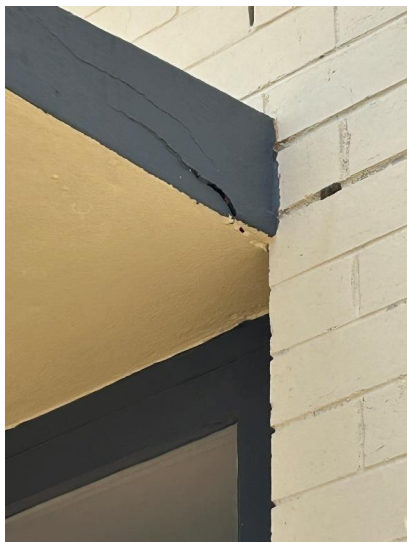


Image 23 – Cracking to Reinforced Concrete Awning

Cracking was observed to the external brickwork adjacent the reinforced concrete awning. Extent and width of cracking is minor and does therefore not present a structural problem. Cracking appears to have occurred as a result of footing movement.



Image 24 – Cracking to External Brickwork

Moisture staining and a small crack in the ceiling cladding was observed over the managers office indicating moisture ingress from roof. The staff at the site advised that there have been no moisture ingress issues wince roof cladding was replaced.



Image 25 – Moisture Damage to Ceiling

A crack through the cornice was observed in the library section of the building. This damage appears to have been caused by footing movement.



Image 26 – Cracking to Cornice

Some minor cracking the inside face of brickwork was observed in the library section of the building. This damage was slight and does not represent a structural issue and appears to be the result of footing movement.



Image 27 – Cracking to Inside Face of Brickwork

Some internal paint was observed to have flaked away around the corners of the windows. This damage appears to have been the result of water infiltration through the window frame.



Image 28 – Moisture Damage Around Windows

External timber posts supporting veranda roof structure were observed to be rotten with steel fixing cleat corroded at the base connection to concrete slab..



Image 29 – Damage to Base of Veranda Support Posts

3.3 Collinsville Telecentre

Cracking was observed to the external brickwork adjacent the reinforced concrete awning. Extent and width of cracking is minor and does therefore not present a structural problem. Cracking appears to have occurred as a result of footing movement.

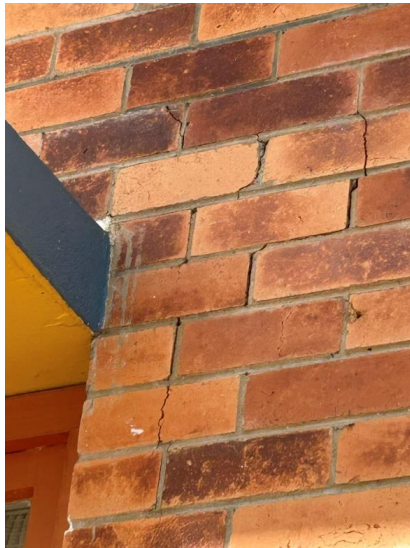


Image 30 – Cracking to Brick Wall

Cracking was observed to the underside of the reinforced concrete awning in multiple locations caused by moisture ingress into concrete and corrosion of reinforcement. Cracking does not seem to have worsened since painting was completed.



Image 31 – Cracking to Underside of Reinforced Concrete Awning

Bubbling was observed to paint to the eaves of the rear balcony indicating moisture ingress from the roof structure over.



Image 32 – Bubbling to Paint on Rear Veranda

Existing concrete render under brickwork wall was observed to be cracked at a corner. Damage observed is not considered a structural issue and has been caused by footing movement.



Image 33 – Cracking to Concrete Render at Corner

Internal walls of telecentre were observed to be cracked in many locations. Cracking appears to have been the result of footing movement.



Image 34 – Examples of Cracking to Internal Wall

Moisture staining was observed to the tops of walls at multiple locations indicating moisture ingress from roof structure above. Onsite staff advised that moisture ingress had ceased since roof cladding was recently replaced.



Image 35 – Example of Moisture Staining to Walls

Damage to ceiling paintwork was observed in toilet indicating moisture ingress from roof above.



Image 36 – Ceiling Damage in Toilet

It was noted that the rear balcony support posts were rotten with steel connection cleats corroded in a similar manner to the library building (refer image 29 above).

4. Discussion / Conclusion

4.1 Collinsville Community Centre

Existing structural drawings number 4161/1 to 4161/8 by McIntyre & Associates Pty Ltd dated November 1983 were provided to STP Consultants for review.

While the drawings were found to comply with best industry design practice at the time. The arrangement was found not to comply with current design standards.

A summary of findings is as listed below:

- a) No intermediate internal strip footings provided within slab to control movement
- b) Slab mesh size specified less than minimum requirements for AS2870
- c) Strip footing supporting perimeter block wall insufficient to resist overturning based on required wind speed
- d) Design wind speed listed as 43m/s to AS1170.2 1981 – Current design wind speed 54m/s to AS1710.2 2021
- e) Design Live Loads listed as 4kPa to AS1170.1 1981- Current design requirement for stage – 7.5kPa, for auditorium – 5kPa
- f) Existing stage floor joist and bearer framing not adequate to support new design loads as per e) above
- g) Existing roof framing purlin size and spacing exceeds minimum requirements to resist design loading as per d) above.
- h) Existing roof support rafters not of sufficient size to resist applicable loads as specified in d) above.
- i) Existing block bond beam reinforcement not sufficient to resist wind loading as specified in d) above
- j) Gangnail truss and battens not designed to resist wind load as listed in d) above

The structure was observed to be in serviceable condition with ongoing structural related issues broadly categorised into the following:

4.1.1 Water Ingress into Basement

Water ingress into basement was observed to be occurred by leakage from base of roller door above and seepage through walls and cracking in floor.

The existing drawings do not indicate what sort of waterproofing measures were undertaken to protect the basement, however it is clear that if there was any wall waterproofing installed to the outside face of the block walls, it has degraded over time.

In order to rectify this issue, the following would be required:

- a) Excavate backfill to rear of perimeter walls and reinstall water-proofing membrane.
- b) Remove and replace existing floor slab with new sub-floor waterproof barrier.
- c) Remove existing roller door over and realign to outside of lower level basement wall including adequate flashing to prevent water ingress.

It is considered that these measures are not practical to implement, therefore should the existing arrangement be retained it is anticipated that the operators would need to allow for ongoing repairs to rectify basement each time it floods.

4.1.2 Footing Movement

Existing footings were observed to have moved as evidenced by observed cracking to walls and relative movement of existing internal walls to external walls.

This movement is caused by seasonal shrinking and swelling of foundation material as it undergoes wet and dry cycles.

As the footings have not been designed without intermediate internal beams, the existing footing system is not designed to sufficiently control this movement, resulting in the cracking as observed.

In order to rectify this issue, it would be necessary to cut and dowel in new intermediate strip footings into the existing slab on a 4m grid.

It should be noted that this is a very extensive scope of work which is not considered practical to implement. As result, if the existing building is to be retained, the operator would need to allow for ongoing repairs to damaged block walls

4.1.3 Roof Damage

While access to roof surface was not possible during inspection, an inspection was conducted of the roof by STP Consultants in 2017. It was noted during this inspection that there were isolated areas of roof damage caused by cyclonic uplift loading exceeding the capacity of the existing structure.

As the existing roof framing has not been upgraded since this time, it is anticipated that should a similar cyclonic event impact upon the structure, similar damage would be anticipated.

In the event that the existing structure were to be retained, we would recommend that the operator commissions a builder to install additional purlins and stiffen existing rafters in order to be able to withstand cyclonic wind loads in accordance with current design code requirements.

4.1.4 Roof Leakage

Leakage through the roof and resultant damage to framing and ceilings was observed in a number of locations. This damage is likely the result of long term deterioration of sealant and/or damage of gutters and flashings.

If the existing building is to be retained, we would recommend that the operator commission a roofing contractor to undertake an audit of the existing roof in order to identify and rectify and leaks.

4.2 Collinsville Library & Telecentre

The Collinsville library was observed to be generally in good condition. Based on advice from onsite staff that no further moisture ingress has been observed since roof, it is anticipated that moisture damage observed to top of walls would not worsen.

With regards the cracking to the concrete awning, this is not anticipated to worsen provided that the waterproofing paint system is maintained.

Cracking due to footing movement is minor and not of structural consequence. Given age of building it is not anticipated that cracking will significantly worsen over time.

Water damage around the windows is anticipated to continue during peak rainfall periods. While only minor damage currently, at some point in the future, windows and flashing would need to be replaced to rectify this item.

Rotting of rear veranda support posts is a structural issue and extent of damage is sufficient to reduce structural adequacy of arrangement on some posts.

In order to rectify, we would recommend replacing any timber posts where extent of rotting has extended past lower fixing bolt hole location. Other posts where rotting has not extended this far may be cut off 20mm above top surface of concrete slab, ensuring end of cut post remains unpainted. All steel brackets to be stripped back to bare metal and treated with suitable corrosion protection system.

On the telecentre where damage to the paint work has been observed, based on observation from staff that ongoing leaking issues have been resolved with installation of new roof we would recommend that these ceilings are repainted.

Appendix :

BRISBANE

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Fortitude Valley QLD 4006
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TOWNSVILLE

Level 3, 382 Sturt Street
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PO Box 1777
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Cairns City QLD 4870
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E. adrien@stpconsultants.com.au

MACKAY

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P. 07 3539 8390
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ROCKHAMPTON

Level 3, 36 East Street
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P. 07 3539 8344
E. cameron@stpconsultants.com.au

WHITSUNDAYS

230 Shute Harbour Road

Attachment 11.3.4 ST P 24-1228 Collinsville Building Condition Assessments -
Structural Report

Cannonvale QLD 4802
P. 07 3539 8399
E. brian@stpconsultants.com.au

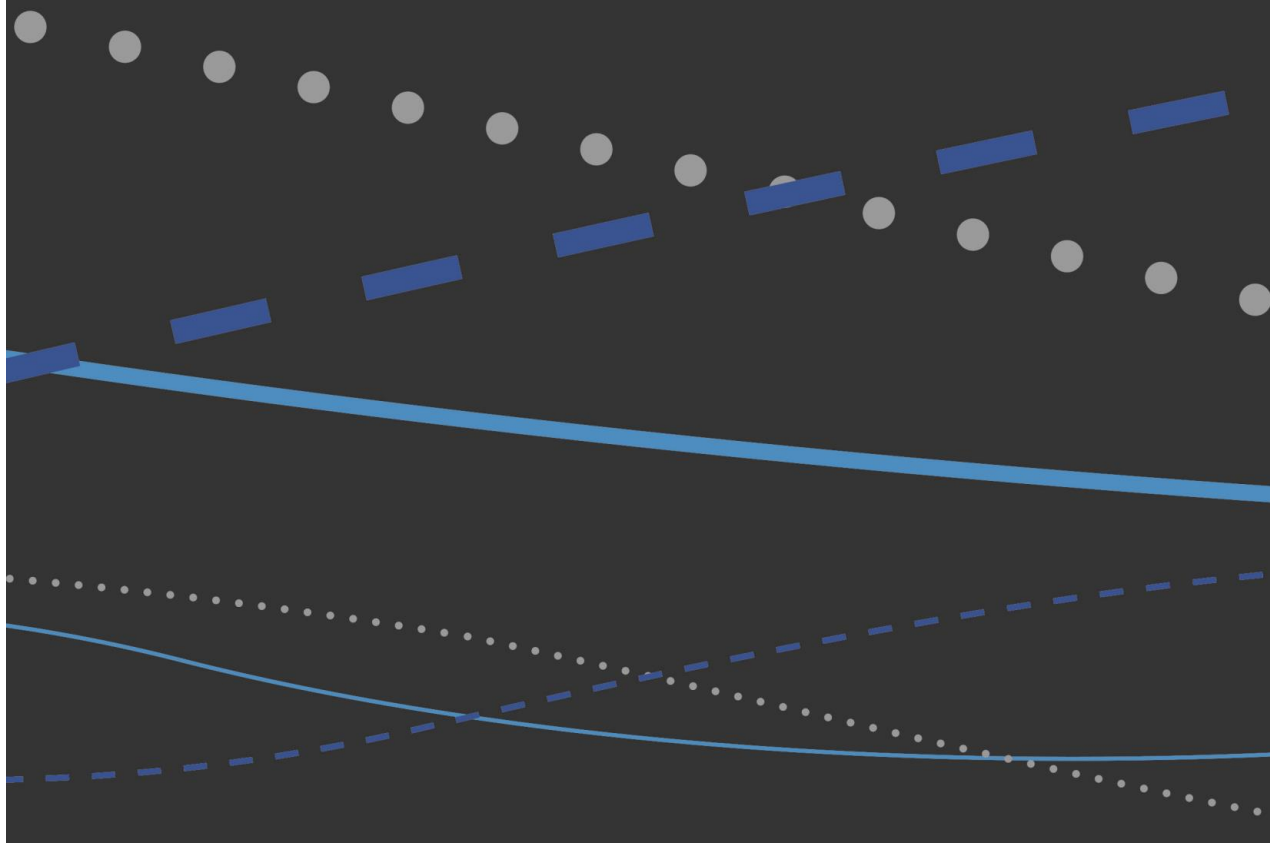




Collinsville Community Hub and Showgrounds Masterplan

Consultation Report

Date: 20 February 2025



Contents

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Document History

Title	Version No.	Date	Author	Reviewer	Approved by
Report	1.0	19 February 2025	Jonathan Cutting	Daniel Borgh	

1. Executive Summary

Whitsunday Regional Council are developing a Collinsville Community Hub, including multi-purpose community centre and master planned showgrounds parkland. The multi-purpose facility is proposed to consolidate customer service centre, library, shape up shed, community hall, telecentre, meeting rooms, amenities and tourism information.

Council, in collaboration with Cox and CA Architects, undertook an extensive consultation with the community, including targeted interviews with key users, community information workshop, information stall, student workshops and surveys, via the Online Engagement Portal.

Consultation was open from Thursday 5 December – Sunday 9 February 2025, for a period of 66 days. A total of 43 individual submissions, 122 contributions from students, 46 contributions from in-person information events were received during the consultation period.

Key feedback demonstrates:

Multi-purpose Community Centre

- Support for proposed uses within the multi-purpose facility, noting no loss of event capacity for the hall and desire for larger shape up shed and library. Shape up shed and hall were the most valued components of the facility.
- Hall with permanent stage and resilient flooring to support indoor sport or shape up shed classes.
- Consideration of additional shape up shed machines/equipment for peak times and gated kids' room or creche, visible to parents in the gym
- Kitchen requirements that include capacity of current fridge space and ample space for preparing / reheating pre-made or outsourced meals, not located on the western side of the building. Consideration of a canteen to support users, visitors, events and parkland.
- Strong support for undercover outdoor spaces that integrate with indoor areas to support existing events.
- Need for some sound proofed spaces, including shape-up shed and meeting / training rooms.
- Desire to retain existing car parking, consideration of overflow areas for major events, and more than average disabled car parks near building access to cater for aging population.
- Desire to recognise cultural heritage, including:
 - Birriah culture - language, country, storytelling, displaying artefacts and design that incorporates water elements
 - history of the community centre and Collinsville

Showgrounds Parkland

- Strong support for more shade trees, lighting, CCTV, improved irrigation, maintenance of green grass to improve use, exercise equipment, water bubblers and concrete pathways, both internally and connecting to key surrounding destinations
- Play priorities were focused upon new sporting infrastructure and major playground, including:
 - Sport – Air-soft/gel blasting area, tennis/pickleball court refurbishments, indoor sport within hall and multi-purpose hardcourt for futsal, skate hockey, roller skating and additional basketball/netball capacity. Shelter, water bubblers and spectator comfort are important considerations.

- Major playground – multi-level multi age, with key focus on climbing, obstacle/parkour, basic water play, trampolines / aircushion, natural play and flying fox

Showgrounds Ring

- Strong support for more shade trees around oval, seating, concrete walking tracks, improved irrigation and maintenance of green grass.
- Support from students for fenced sand ring that may accommodate horse riding and rodeo events
- Desire for more event programming and infrastructure that may support outdoor movies and longer-term camping.

Cattle yards

- Split views regarding the preservation of the cattle yards with viewpoints including, they have heritage value, existing steel yards are well utilised and others suggesting they are an eyesore that should be re-purposed.
- An appropriate balance may include shrinking their area by retaining part of the timber heritage yards, re-purposing heritage timber in interpretive designs that acknowledge the Bicentennial Heritage Trail and reconfiguring steel yards to more efficiently accommodate the needs of users or link in with potential future sand horse riding ring.

All submission contents have been collated in this report. Submission themes will be considered by Council and consultant to inform design of the Collinsville Community Hub and Showgrounds Masterplan.

WRC will report back to the community to close the loop and demonstrate how the feedback was taken into consideration.

2. Background

Council has been awarded \$14.6M from the *Resources Community Infrastructure Fund*, with a further \$1.4M Council contribution to develop the new Collinsville Community Hub. Further funding is required to deliver components of the showground masterplan, anticipated in stages over the next 10+ years.

Presently, Collinsville's community facilities, including library, customer service, telecentre and shape up shed, are outdated, dispersed, and require significant maintenance as buildings approach end of life. Furthermore, due to facilities not being centralised, operational costs are high, and staffing challenges can result. Key facilities that are proposed to be consolidated into the new facility include:

- **Customer service & Library**– The 85.5m² facility falls short of the State Library standard of service requirement. It lacks modern amenities and space, despite serving an average of 569 visitors monthly and hosting community programs.
- **Telecentre Services** – Digital support services sometimes experience staffing constraints and limited space for users.
- **Community Centre** – A large but underutilized asset, approaching end of building design life. Structural assessment identified slab, footings, walls and roof structure would require replacement to meet current standards - exceeding funding (\$14.6M). Any upgrades or refurbishments would trigger compliance with current building code, requiring extensive works to retrofit disabled access and fire compliance, that are not economical.

- **Shape up shed** – Old shed offering fitness equipment and classes, open only when staffed. Shape up shed is proposed to be included within the new facility, including technology that could enable 24/7 access.

3. Overview of the Consultation

The consultation process occurred between Thursday 5 December – Sunday 9 February 2025, for a period of 66 days utilising our Online Engagement Portal. Communication tools to raise awareness of the consultation period included:

- Project page and fact sheet on our Online Engagement Portal - Yoursay Whitsunday.
- Online surveys and hardcopy surveys in customer service centres
- Social media post (4)
- Newspaper notice (4)
- Direct email of key stakeholders and Yoursay members interested in Collinsville projects (90)
- Poster on digital noticeboards of Telecentre and hardcopy poster within IGA Shopping Centre
- Community Information Workshop on 5 December 2024, attended by approximately 45 community members, including representatives from the Pensioners Club, Lions Club, Collinsville Youth Coalition and Telecentre
- Information stall at local IGA Shopping Centre on 23 January 2025
- Interviews with Birriah traditional owners, key community groups and school principals
- Visit to local schools to capture ideas from students

Four Facebook posts received above average reach, including:

- Post impressions – 8,459 - The number of times a post was on screen.
- Post reach – 7,806 - The number of people who saw posts at least once.
- Link clicks – 540 - The number of times people engaged with a link in a post

Our Online Engagement Portal *Yoursay Whitsunday* attracted 155 'informed' visitors during the consultation period. 'Informed visitors' interacted with fact sheets or links on the project page.

3.1 Purpose of the consultation

To consult with Whitsunday Region residents on the proposed Community Hub and Showgrounds Masterplan. Under the IAP2 Public Participation Spectrum, WRC was seeking to **consult** the community and **involve** key stakeholders.

3.2 Who was consulted

All residents in the Whitsunday Region were invited to participate and the consultation was open to anyone online. Targeted efforts included a community information workshop, information stall at shopping centre, interviews with key stakeholders, discussion with students, and direct email to local schools, youth centres, businesses, relevant community groups and interested residents.

4. Overview of the Responses

Overall, there were 43 individual submissions, 122 contributions from students and 46 contributions from information events during the consultation period.

Feedback was also captured through interviews with key stakeholders and discussions with students at local schools, including:

- Birriah Traditional Owners
- Shape up Shed
- Pensioners Club
- Lions Club
- Collinsville Community Association (CCA)
- Telecentre
- Local school principals – Saint Bosco Catholic College, Collinsville High School and Collinsville State School
- Saint Bosco Catholic College – Grade 4-5 students (approximately 20 students)
- Collinsville State School – Grade 5-6 (approximately 25 students)
- Collinsville High School – Lunchtime info stall for all grades (approximately 40 students)

Detailed feedback from these interviews and discussions with students is set out within **Appendix 1**, with highlights captured below.

4.1 Community Information Workshop and Stall Highlights

Community Information Workshop – 5 December 2024 – Approximately 40 residents

- Council provided an overview of the project and background studies, that explained structural issues and that refurbishing the Community Centre was not viable.
- Some residence were concerned about a lack of historic maintenance to rectify building issues.
- Recognition of strong history within the building, both in its construction, which was facilitated by many community members, and events that it has hosted.
 - Queries about need to demolish the building, with some preferencing desire to build new facilities around it
 - Some desire to capture the history of the building and other heritage buildings on site, within the new designs or future interpretive signage / artworks.
- Strong sentiment for protection of heritage in Collinsville, including tourism information centre, old jail, cattle yards and community centre.
- Concern about taking the customer service centre and library out of the Main street.
- Strong support for new multi-purpose facility and creation of community hub at showgrounds, to create a stronger future for Collinsville that will help attract new families.
- Highlighted some issues with current centre, i.e. electrical issues, basement flooding, location of kitchen on western side becoming very hot.

Further specific contributions captured on A1 posters at the workshop have been included within relevant parts of *Section 4.3 Analysis of Responses – Community survey & discussion highlights*.

Information stall – 23 January 2025

- Prioritise seating in hall for 300 persons, including quality stage
- Program more events
- Desire to re-open motorbike track (south of Collinsville)
- Miscellaneous ideas to improve maintenance of Main St, parklands and cemetery
- Desire for more disabled parking at newsagent and IGA

4.2 Key Stakeholder Interviews – Highlights

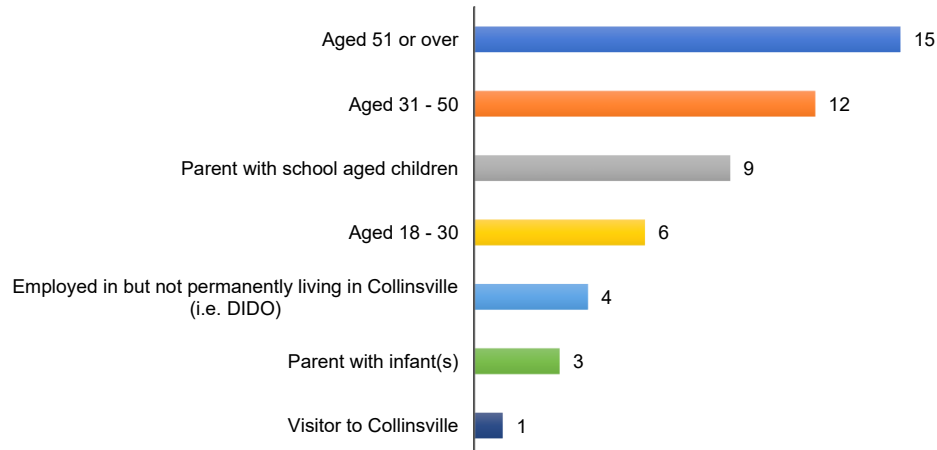
Detailed feedback from stakeholder interviews, predominately focused on design of the building, is provided within **Appendix 1**.

Building Feedback Summary

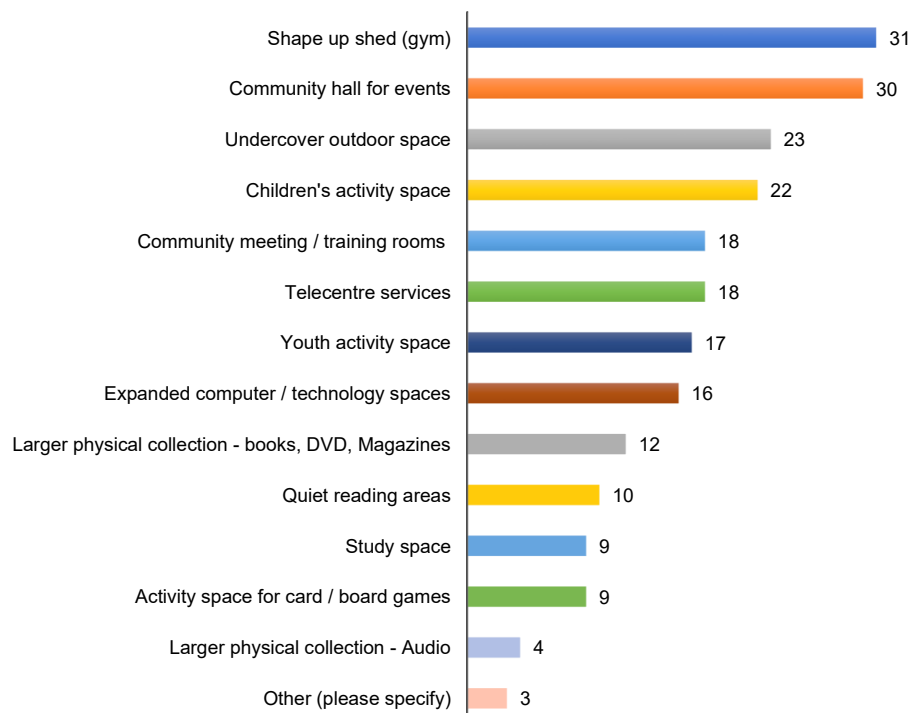
- Desire to not lose any service, capacity or function within new building
- Identification of hall size that is sufficient to cater for gatherings of up to 300 people, including AV technology and furniture that allows for a mix of events, such as awards nights (row seating), cinema, presentations and banquets (round tables)
- Support for proposed uses within the multi-purpose facility. Desire for larger shape up shed, larger library and hall with permanent stage and resilient flooring to support indoor sport or shape up shed classes, that require additional space within the air-con.
- Consideration of 24/7 access for the telecentre and shape-up shed, considering peak times around work / mining shifts early morning and late after work.
- Additional shape up shed floorspace and equipment to cater for peak times.
- Kitchen requirements that include current fridge space and ample space for preparing / reheating pre-made or outsourced meals.
- Desire for kitchen to be adequately ventilated and not located on the western side of the building where it currently gets very hot in the afternoon sun
- Strong support for undercover outdoor spaces that integrate with indoor areas to support existing events
- Need for some sound proofed spaces, including shape-up shed and meeting / training rooms
- Desire to retain existing car parking, consideration of overflow areas, and more than average disabled car parks near building access to cater for aging population
- Desire to recognise cultural heritage, including:
 - Birriah culture - language, country, storytelling, displaying artefacts and design that incorporates water elements
 - history of the community centre and Collinsville

4.3 Analysis of Responses – Community survey & discussion highlights

Tell us about yourself (choose all that apply):



What spaces do you value within a new library and community centre?
(choose all that apply)



Additional survey ideas:

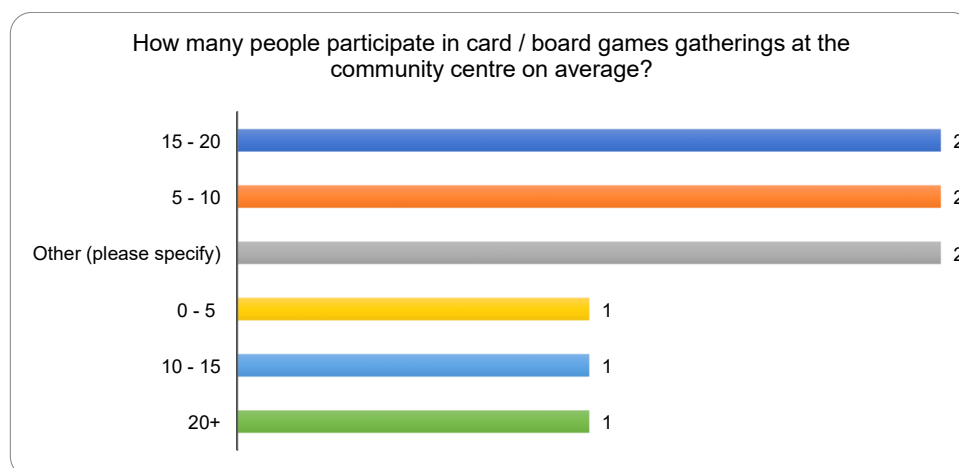
- Kitchen, outdoor bar and area highly valued for events (3)
- Retain location of library in Main St, retain location of tourism info centre (1)
- No less parking, seating or floor space in hall (1)

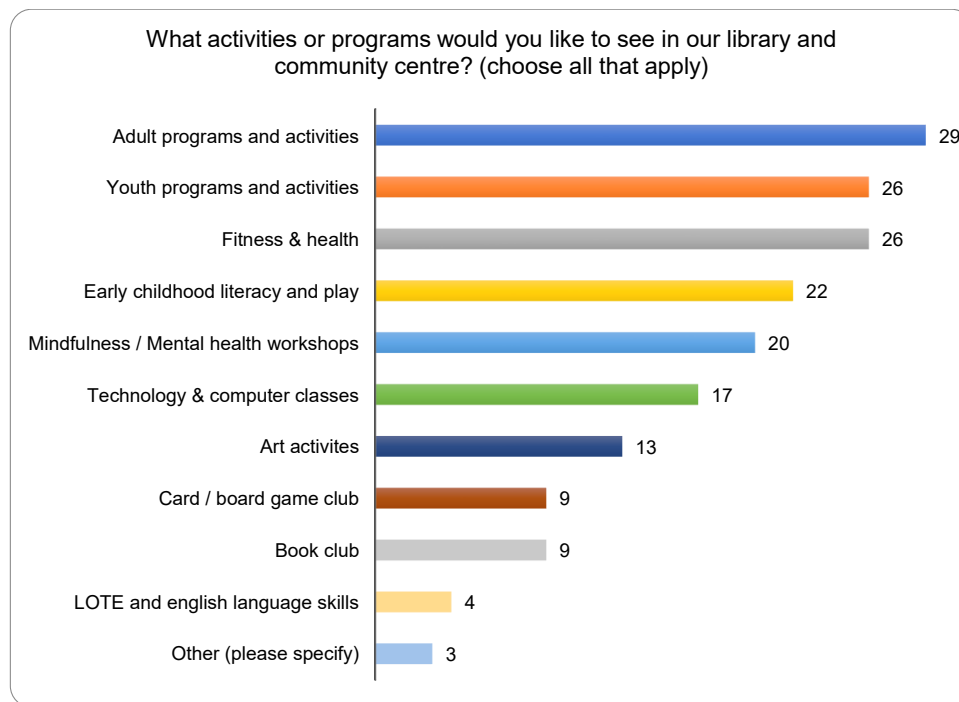
Community information workshop – 5 December 2024:

- Kitchen not on west side (3)
- Design to support outdoor events - Lions BBQ (3)
- Keep outside power for events - Melbourne Cup, Australia day etc (2)
- A/C or proper ventilation in kitchen (2)
- Permanent stage area (2)
- Hall same floor space as current (1)
- Hall has been used for big funerals (1)
- New building must have architectural character, not modern cubist (1)

*Student feedback highlights (see all in **Appendix 1**) –*

- Strong support to use hall for more events, cinema and indoor sports activities within the air-con, including:
 - Gymnastics i.e. Trampoline, beams, bars (*strong support for trampoline*)
 - Yoga and meditation
 - Pickleball
 - Volleyball
 - Badminton
 - More dance and performances
 - Laser tag
- Support for larger library and telecentre, including desire for:
 - Larger students reading collection (*strong support*)
 - More telecentre computers for games (*strong support*)
 - 3D modelling and printing (*strong support*)
 - Arts library (colouring and clay station) (*support*)
 - Indoor & outdoor library space
 - Singing station
- Desire for canteen





Additional survey ideas:

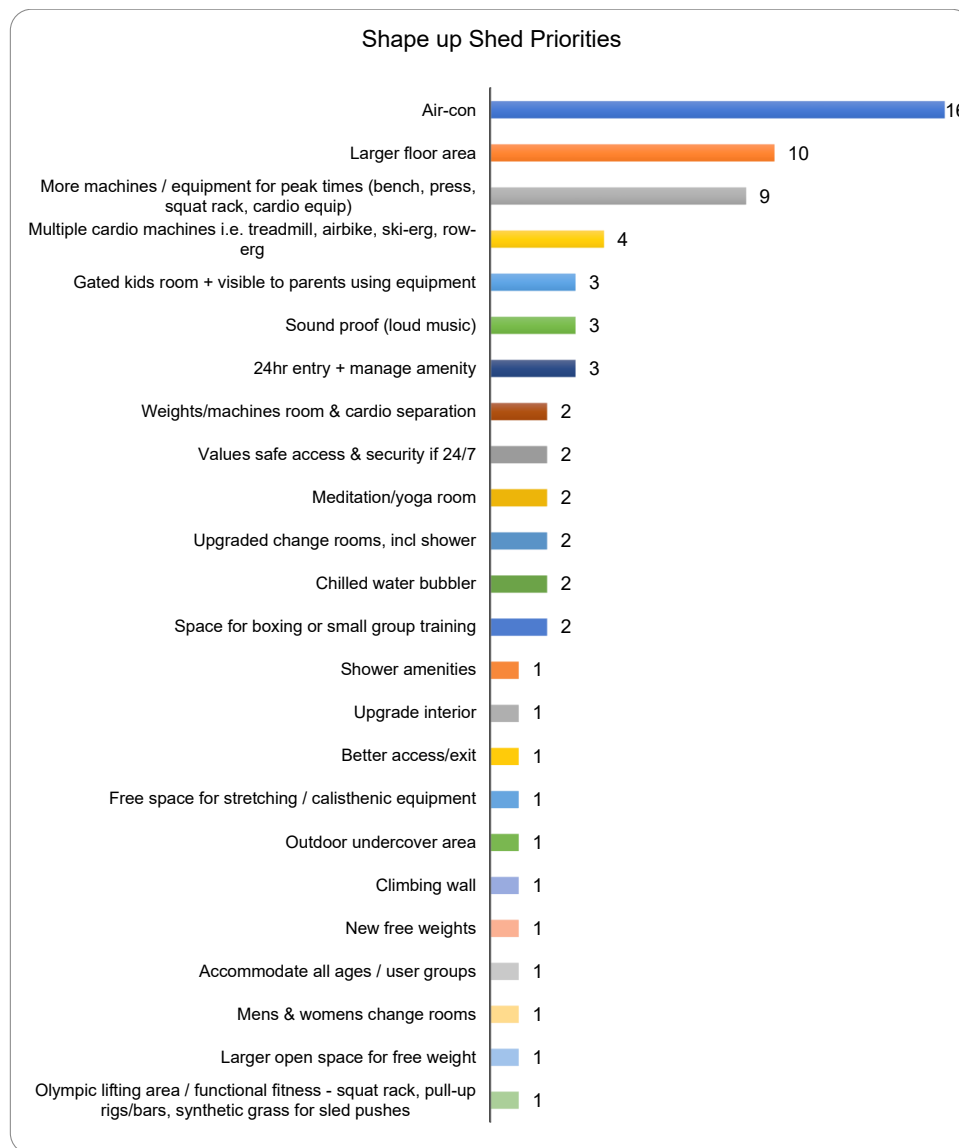
- Guest speakers (1)
- Community events i.e. Australia day (1)
- More technology, computer classes, adult and art activities (1)

Community information workshop – 5 December 2024:

- Movie nights (1)
- Area for local playgroup to be based (currently based at Collinsville State School but building is old) (1)

*Student feedback highlights (see all in **Appendix 1**):*

- More dance and performances
- Yoga and meditation
- Arts activities in library (colouring and clay station) (*strong support*)
- More telecentre computers for games (*strong support*)
- Singing station
- 3D modelling and printing

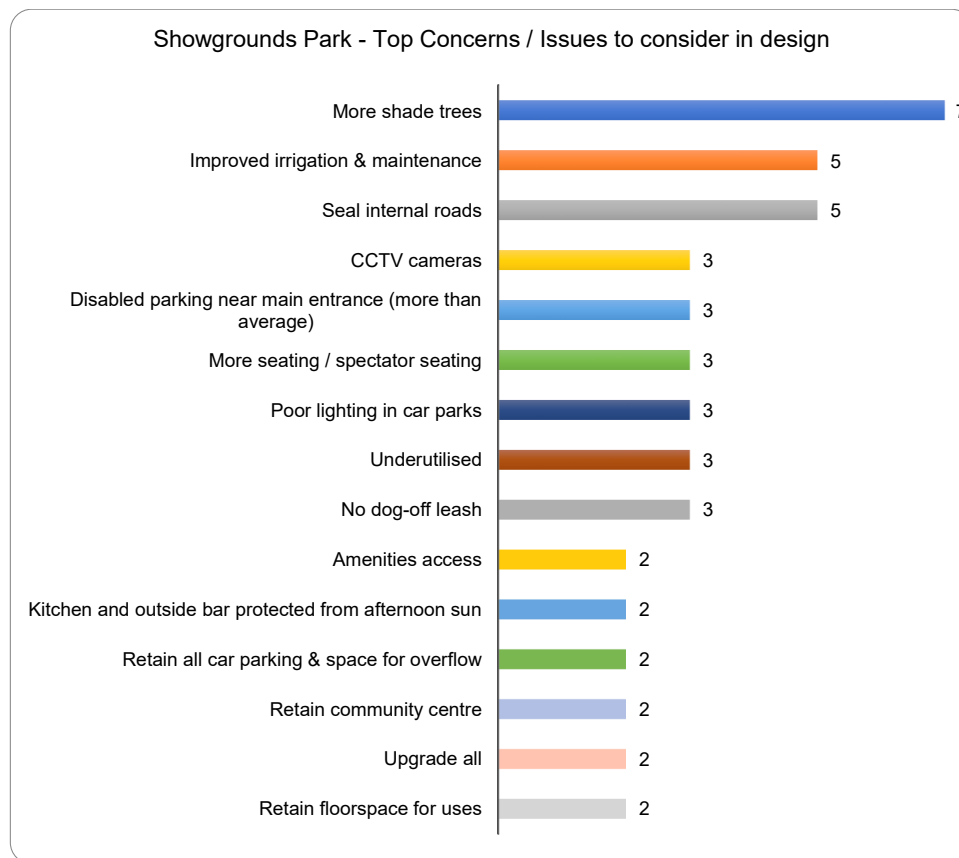


Community information workshop – 5 December 2024:

- Shape up shed increase floor area (1)
- Shape up shed - 24/7 access, A/C, sound proofing, toilet access (1)
- Squash court (1)

Student feedback highlights (see all in **Appendix 1):**

- Yoga and meditation room



Additional survey ideas:

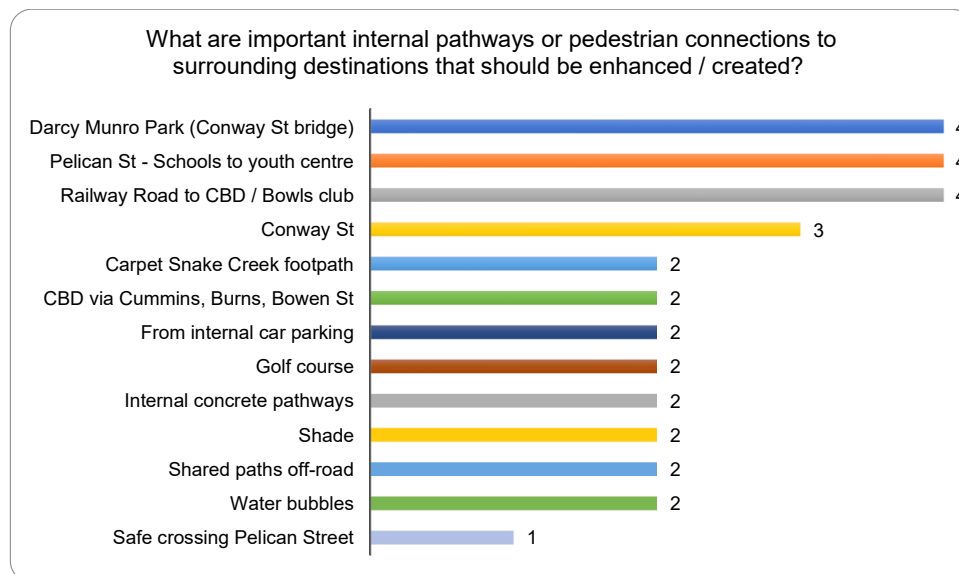
- Amenities that are accessible from outdoor events, without carpet (dirty shoes) (1)
- Lack of activities for youth (1)
- Pathways for seniors & disabled (1)
- Water coolers (1)

Community information workshop – 5 December 2024:

- Improve maintenance, weeding and irrigation (3)
- Lack of shade (2)
- Showring is wasted space (1)
- Improved pathways access for families around town (1)

Student feedback highlights (see all in **Appendix 1):**

- Need more activities for primary school aged students
- Lack of shade
- More basketball / netball court space at CYC
- No indoor / air-con sport options



Additional survey ideas:

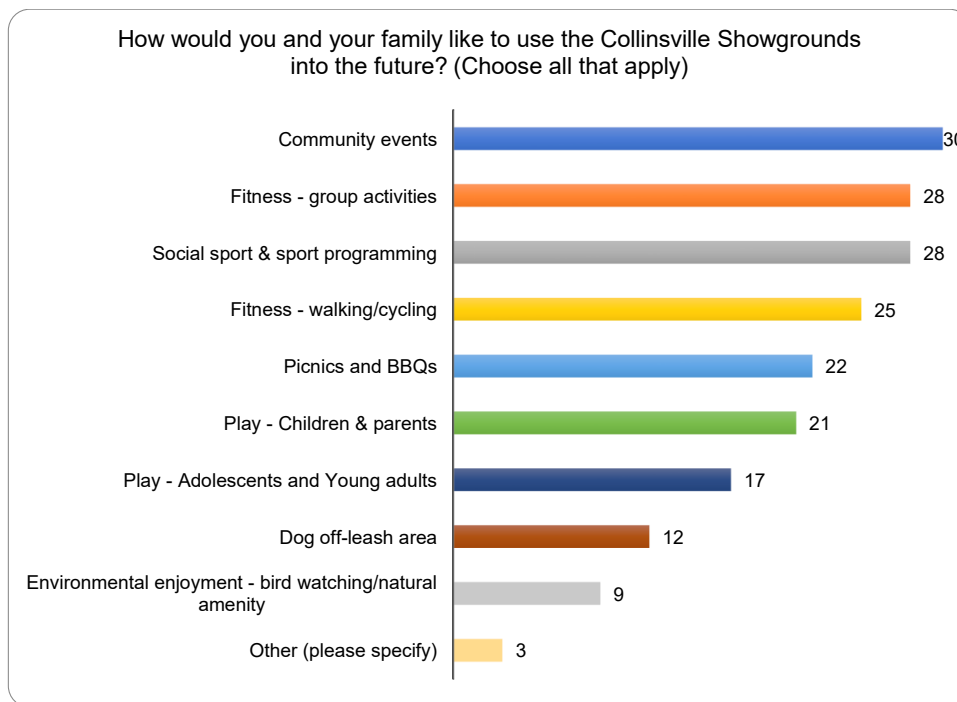
- More lighting on current pathways (1)
- Wayfinding signage (1)
- From community centre to CYC building (1)

Community information workshop – 5 December 2024:

- Park run around showgrounds (2)
- Concrete pathways around town and to post office (1)
- From RV Park to CBD (Railway Road & Conway St) (1)
- Dog park for residents and RV park users (1)
- Need proper pathways to access family spaces around town (1)
- Disabled parking close + access (1)

*Student feedback highlights (see all in **Appendix 1**):*

- Concrete pathways connecting skate rink and around parkland (for roller skating, cycling, scooters)



Additional survey ideas:

- Exercising horses (1)
- Turn ring into big park with lots of shady trees, winding paths, picnic facilities and fitness stations (1)
- Tennis courts with shaded areas for day and lights on timers for nighttime (1)
- Facilities that are vandal resistant (1)

Community information workshop – 5 December 2024:

Youth & community ideas

- Area for local playgroup to be based (currently based at Collinsville State School but building is old) (1)
- Movie nights (1)

Parkland ideas

- Council should weed gardens (1)
- Irrigation (1)
- Dog park (1)

Shade and Landscaping

- Shade for the new seats Council placed around town (1)
- More shade trees needed during family events (1)

Play ideas

- Building for playgroup (1)
- Movie screenings (1)
- Outside fountain playground - interactive fountain (1)

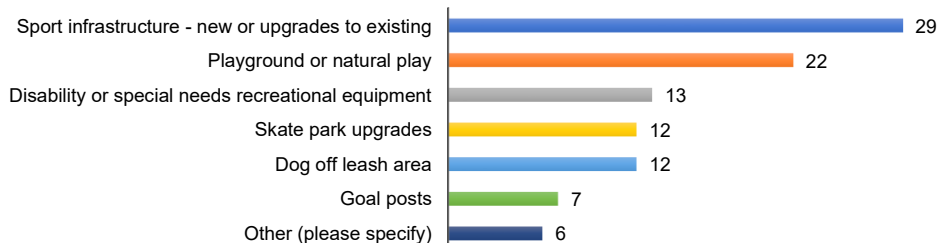
Memorable spaces ideas

- Showcase historic cattle yard (1)
- Keep history for all (1)

*Student feedback highlights (see all in **Appendix 1**):*

- Strong support for sand ring for horse riding or rodeo events, including retaining steel cattle yard where both locals and visitors may store horses overnight – up to 20 students at High school regularly ride
- More sporting infrastructure for kids of all ages, including
 - Strong support for airsoft or gelblasting area and equipment
 - Futsal and skate hockey, potentially on old tennis courts
 - Roller skating rink
 - Need for more basketball/netball court capacity
 - Goal posts
 - Pickleball
 - Cricket nets / indoor cricket
 - Frisbee golf
 - Rock climbing
 - Go-kart track
- Female students prioritised a quiet shaded seating space for hanging out
- Strong desire for major playground with several skill stages (multi-level, multi-age), including focus on climbing, obstacle/parkour, basic water play, trampolines / aircushion, natural play and flying fox
- Desire to improve irrigation of grassed areas for activities such as soccer, football or kite flying.
- Strong desire for more events, particularly outdoor movies
- Consideration of opportunities to ride motorbikes within the parkland

How should we support play? Select top three favourites you would like to see in Collinsville Showgrounds future stages.



Additional survey ideas:

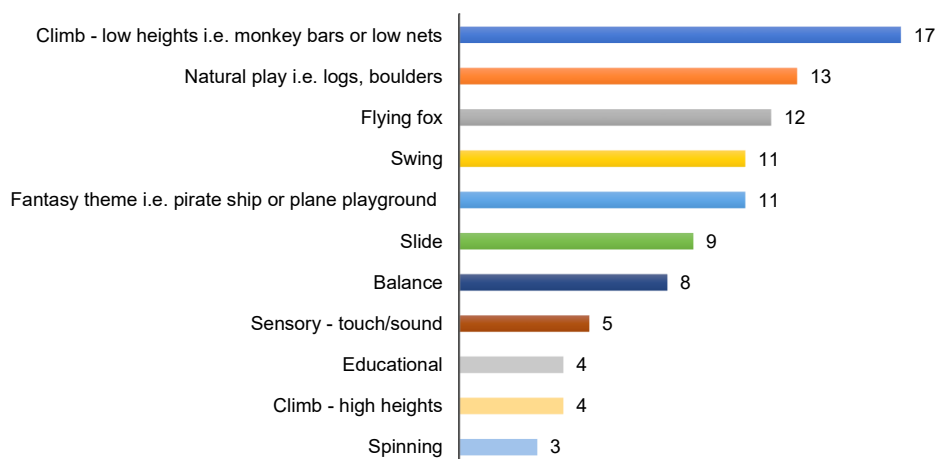
- Learn to ride scooters / skates (flat surface) near skate park
- Water fountain near picnic area
- Indoor soccer
- Badminton in hall
- Walking paths around showgrounds
- Mini golf
- Don't remove anything

*Student feedback top priorities (see all in **Appendix 1**):*

- Sports infrastructure, both indoor and outdoor
- Sand ring for horse riding or rodeo events
- Major playground development

- Skate park upgrade is prioritised over future pump track upgrades, with desire to retain its existing location rather than re-locate to Darcy Munro Park

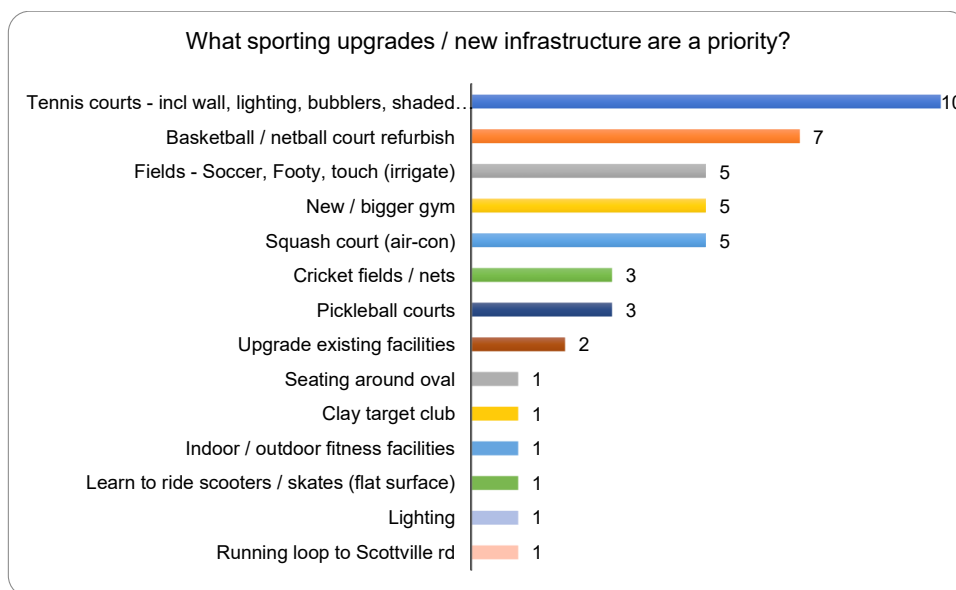
What are your top five favourite playground components or skills?
(shade, safety and drinking water are assumed)



Student feedback highlights (see all in *Appendix 1*):

- Strong desire for major playground with several skill stages (multi-level, multi-age),
- Students supported top five ideas within the graph above, with key focus on climbing, obstacle/parkour, basic water play, trampolines/aircushion, natural play and flying fox
- Fantasy playground ideas, including giant snake, octopus or mining truck

Help us prioritise investments in showground park upgrades into the future, 1 being the highest priority, 10 being the lowest priority:	
Lighting and safety	Highest priority Lowest priority
Shade trees, gardens and landscaping amenity	
Exercise equipment / water bubblers	
Event infrastructure	
Picnic / BBQ infrastructure	
Parking and access	
Memorable destination - Placemaking art, sculptures & interpretive signage	
Shared pathway loop around Showgrounds & surrounding connections	
Showring transformations or upgrades	
Play equipment & spaces	



Additional survey ideas:

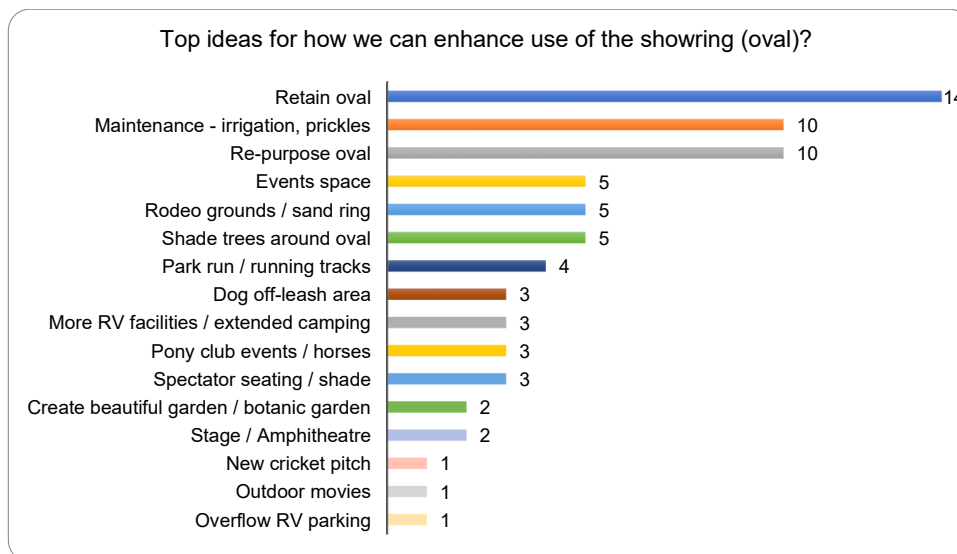
- New playground (1)
- Shaded BBQ (1)
- Walking tracks, including lighting & shade (1)

Community information workshop – 5 December 2024:

- Shape up shed increase floor area (1)
- Shape up shed - 24/7 access, A/C, sound proofing, toilet access (1)
- Squash court (1)

*Student feedback top priorities (see all in **Appendix 1**):*

- Strong support for sand ring for horse riding or rodeo events, including retaining steel cattle yard where both locals and visitors may store horses overnight – up to 20 students at High school regularly ride
- More sporting infrastructure for kids of all ages, including
 - Strong support for airsoft or gelblasting area and equipment
 - Desire for futsal and skate hockey, potentially on old tennis courts
 - Roller skating rink
 - Need for more basketball/netball court capacity
 - Goal posts
 - Pickleball
 - Cricket nets / indoor cricket
 - Frisbee golf
 - Rock climbing
 - Go-kart track



Additional survey ideas:

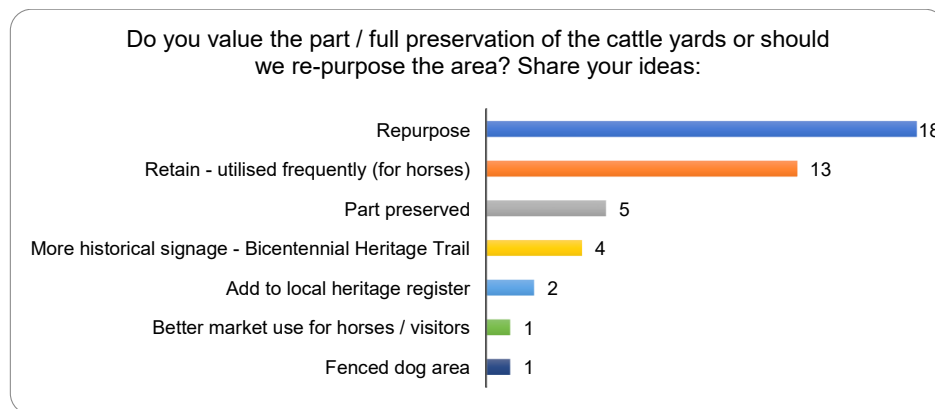
- Remove fencing (1)
- Undercover grandstand (1)
- Water bubblers (1)
- Park including playground & picnic facilities (1)
- Soccer (1)

Community information workshop – 5 December 2024:

- More shade trees around ring (particularly CYC side) (2)
- Make the ring green (1)
- Irrigation (1)
- Ring is wasted space - do something like a playground adventure area or green space (1)

*Student feedback highlights (see all in **Appendix 1**):*

- Strong support for sand ring for horse riding or rodeo events, including retaining steel cattle yard where both locals and visitors may store horses overnight – up to 20 students at High school regularly ride
- Strong desire for more events, particularly outdoor movies
- Consideration of opportunities to ride motorbikes within the parkland
- Consideration of longer-term camping



Additional survey ideas:

- Re-purpose - learn to drive bike track or mini-golf (1)
- Re-purpose - Off leash dog park (1)
- Re-purpose - Overflow parking (1)
- Re-purpose - RV area (1)
- Remove - Use temporary fencing if yards ever required (1)
- Cattle yard timber approximately 70 years old – characteristic of cattle properties in the Region. Species that make up the yards should be planted on-site to showcase them, including *Grevillea striata*, *Eremophila mitchellii* and *Acacia rhodoxylon* (1)

Student feedback highlights (see all in **Appendix 1):**

- Retaining steel cattle yard was considered important as both locals and visitors may store horses overnight – up to 20 students at High school regularly ride
- Suggest demolishing timber cattle yards to create more space

Final miscellaneous survey comments:

Shade and seating around oval	3
Retain existing Community centre - build around it	3
Don't support events precinct at showgrounds due to noise	2
250 - 300 people fit in hall	2
Retain parking	2
Seal internal roads	2
Access & parking via Railway Rd	1
Canteen & bar area	1
CCTV	1
Community garden	1
Focus on activities for kids	1
Focus on community hub building, incl coffee shop	1
Information centre external to buildings	1
Lighting	1
No less seating or floor space in hall	1
Off-leash fenced dog park area	1
Parking as per current	1

Parking for CYC	1
Pathways around showgrounds	1
Re-purpose ring - into parkland with gardens and playground etc	1
Retain location of library in Main St - prioritise parking & accessibility	1
Retain location of tourist info in RV centre as next to old jail	1
Sufficient playgrounds elsewhere, don't need more play at showgrounds	1
Supports re-locating telecentre to new facility	1
Telecentre move to an empty shop in Main Street	1
Toilets accessed from inside hall	1
Undercover parking	1

5. Recommendations

It is recommended the feedback submitted during the consultation process is considered by WRC when developing the Collinsville Community Hub and Showgrounds Masterplan.

Key feedback demonstrates:

Multi-purpose Community Centre

- Support for proposed uses within the multi-purpose facility, noting no loss of event capacity for the hall and desire for larger shape up shed and library. Shape up shed and hall were the most valued components of the facility.
- Hall with permanent stage and resilient flooring to support indoor sport or shape up shed classes.
- Consideration of additional shape up shed machines/equipment for peak times and gated kids' room or creche, visible to parents in the gym
- Kitchen requirements that include capacity of current fridge space and ample space for preparing / reheating pre-made or outsourced meals, not located on the western side of the building. Consideration of a canteen to support users, visitors, events and parkland.
- Strong support for undercover outdoor spaces that integrate with indoor areas to support existing events.
- Need for some sound proofed spaces, including shape-up shed and meeting / training rooms.
- Desire to retain existing car parking, consideration of overflow areas for major events, and more than average disabled car parks near building access to cater for aging population.
- Desire to recognise cultural heritage, including:
 - Birriah culture - language, country, storytelling, displaying artefacts and design that incorporates water elements
 - history of the community centre and Collinsville

Showgrounds Parkland

- Strong support for more shade trees, lighting, CCTV, improved irrigation, maintenance of green grass to improve use, exercise equipment, water bubblers and concrete pathways, both internally and connecting to key surrounding destinations
- Play priorities were focused upon new sporting infrastructure and major playground, including:
 - Sport – Air-soft/gel blasting area, tennis/pickleball court refurbishments, indoor sport within hall and multi-purpose hardcourt for futsal, skate hockey, roller skating and additional basketball/netball capacity. Shelter, water bubblers and spectator comfort are important considerations.

- Major playground – multi-level multi age, with key focus on climbing, obstacle/parkour, basic water play, trampolines / aircushion, natural play and flying fox

Showgrounds Ring

- Strong support for more shade trees around oval, seating, concrete walking tracks, improved irrigation and maintenance of green grass.
- Strong support from students for fenced sand ring that may accommodate horse riding and rodeo events
- Desire for more event programming and infrastructure that may support outdoor movies and longer-term camping.

Cattle yards

- Split views regarding the preservation of the cattle yards with viewpoints including, they have heritage value, existing steel yards are well utilised and others suggesting they are an eyesore that should be re-purposed.
- An appropriate balance may consider shrinking their area by retaining part of the timber heritage yards, re-purposing heritage timber in interpretive designs that acknowledge the Bicentennial Heritage Trail and reconfiguring steel yards to more efficiently accommodate the needs of users or link in with potential future sand horse riding ring.

6. Next Steps

The project team will consider this report to develop the Collinsville Community Hub and Showgrounds Masterplan design. The draft building design will be presented to Council at an upcoming Meeting for consideration before proceeding to detailed design of the facility. Further discussions will be held with Birriah Traditional Owners and key users to refine minor design details associated with the shape up shed, telecentre and kitchen. No further consultation on the building design will occur with the broader community due to grant funding timing constraints.

The draft Showgrounds Masterplan design will be subject to further consultation to re-affirm proposed design and priorities for future staged delivery. A Land Management Plan will be developed alongside the draft Masterplan that defines to the State Government and community, how Council as trustee will manage the land as the masterplan is incrementally developed.

Construction of the new Community Centre is anticipated to commence early 2026 –and be complete mid – 2027. Council will work with existing community centre users to ensure they can utilise alternate venues, such as the Collinsville Rugby League Club. Further communications will be shared to the community outlining construction timing, anticipated impacts and ongoing project updates. Existing customer service and library facilities will be retained in their current location until they can move into their completed Community centre.

It is important to close the loop with residents and show how their input has affected the outcome. A Consultation Summary infographic document has been prepared, which will be released to the public and distributed via the website and social media. The Summary will show key statistics and outcomes of the consultation process.

A database of participants has been collated during the consultation process and a direct email will be sent to those participants with a copy of the Consultation Summary.

Appendix 1 – Collinsville Community Hub – Stakeholder Interviews**School principals**

Topics	St Bosco's Catholic College (70 students)	Collinsville Primary School	Collinsville High School (140 students)
Events in hall	- Awards nights, School balls, concerts, sport presentations, fundraisers, guest speakers, robotics competition (STEM) - Live entertainment and bar used - October - November		
Capacity required	- Up to 200 for awards, 100 for fundraising	Largest was presentation night - 370	- Up to 300 for awards 160 for school ball
Can the events be split	N/A proposed hall can accommodate	Could split presentation nights – primary school has less students but lots of family	Could split in two but not desirable – impact on staff and parents
Seating arrangements	- Table seating for fundraising - Awards - Loose seating in rows + densely packed rear atrium seating area - Ball - Tables for seating as well as a games and dance area are required for this event		
Stage & floor requirements	- Timber stage floor - Supports proposal for multi-purpose hall floor – needs resilient floor - Supports indoor/outdoor set-up - Dance floor - Stage will be used to present recipients with awards as well as area for student performances to take place		
AV / Furniture	- Projector, light bar, play video on projector plus traditional items i.e. speakers, microphone, lectern - Computer charging access and connection to projector and speaker system - Stage for DJ and projecting images onto the screen - Power plugs accessible throughout hall as lighting set up throughout venue		
Security & Safety matters	- Internal toilet facility access to stop children running off. - Could re-purpose meeting rooms for change areas for students completing performances		In addition to left - Unisex toilets could be a potential issue.
Food & Beverage	- Food brought in for events - Supportive of outdoor space for pre-drinks and nibbles - Banquet for fundraiser - Will require area to keep drinks and food for up to 300 people cold. - Require area to heat food for supper as well as area to establish a tea and coffee station - Use current fridge space and it needs to be the same.		
Waste management	- Wastes are usually stored in wet area over night and disposed of by school staff the following morning. - Preferably an industrial bin could be accessed.		
Other Misc	Limited space in school hall, may benefit from badminton	If it became a recreational centre in future, they would use it.	Some growth 130 to 140 students - more families moving to Collinsville

	• pickleball or volleyball in aircon of new hall • Supports learning garden / bush tucker, Birriah learning wall/walk	• Netball, basketball (mining teams) and ultimate disc for teens • Play pickleball in the undercover areas	• Decorate walls of hall with posters – blu tac or pins if appropriate surface • Consider bolted down table & chairs in outdoor area, & external BBQ • Could Council consider a youth support worker. CYC caters for primary school students, but nothing for high school students to sit and chat
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Primary and High School Students

Note - A 'top 3' prioritisation exercise was only completed at St Bosco's Catholic College. Recognition of support for certain ideas at Collinsville Primary School and High School was based upon students' emotion to certain ideas and frequency that it was noted.

Topics	St Bosco's Catholic College (Approx. 25 students Year 5 - 6)	Collinsville Primary School (Approx. 20 students Year 4 - 5)	Collinsville High School (various)
Events	• Races • Singing and dancing • Lolly drop • Outdoor cinema • Petting zoo	• Cricket • May Day events • Outdoor movies (strong support) • More events (including Halloween - lolly drops) (strong support)	• Outdoor Cinema • Drive-in movies / outdoor movies
Ring activities	• Horse riding • Motorbikes • Rugby/soccer (good grass) • Camping (longer-term)	• Horses • Motorbikes • Kite • Irrigation green grass	• Rodeo ring with sand (more space) • Motorbikes • Keep steel cattle yards - used for horses • Horse riding - sand ring (strong support) • Events & festivals • Outdoor events stage • Go-kart track (strong support) • Roller skating rink (combined in one centre) (strong support)
Building ideas	• Canteen • Jungle gym • Laser tag • Programming & events • Sculpting stations • 3D modelling (4 prioritised) • More computers (for games) • Library upgrade & bigger collection (3 prioritised)	• Yoga/meditation hall • Canteen • Library (indoor/outdoor) • Arts library (colouring & clay station) (support) • Claw machine • Massage chairs • Indoor sports in hall – aircon (support) • Bigger telecentre	• Dance space • Air-conditioned sports activities • More performances in the hall

		• Singing station • Dance • Indoor skydiving • 3D printing	
Sports ideas	• Skate park upgrade (preferred over pump track) • Airsoft / gelblaster game (11 prioritised) • Water balloon games • Shade (trees, walls, cover) • Activities to be available all day and night • Mini golf • Futsal & skate hockey	• Basketball (more space needed at CYC) • Skating rink & concrete pathways • Futsal • Skate Hockey • Soccer goal posts and green grass • Gymnastics area - incl beams/bars • Trampoline • Frisbee golf • Cricket	• Pickleball court • Gymnastics area (strong support) • Futsal court • Netball court - more space • Indoor cricket & nets • Volleyball • Bowling • Indoor Sports centre • Badminton
Playground & outdoor enhancements	• Trampoline park • Major playground with several skill stages (multi-level, multi-age) (12 prioritised) • Climbing/parkour + obstacle course (4 prioritised) • Zipline / flying fox • Swings • Big slides - integrate with major playground • Water play - integrate with obstacle course • Aquarium • Art - public wall art - like graffiti wall	• Strong support for top 5 in survey - Climb, Natural play, Flying fox, Swing, Fantasy theme i.e. pirate ship or plane playground • Water balloons • Playground - fantasy octopus, snake playground (Ayr) or mining truck (strong support) • Water play (pumps, bubblers, natural logs) • Multi-room playground • Climbing wall (support) • Hamster wheel • Big air cushion • Bungee jump • Trampoline park (strong support) • Bike track • Flying Fox around ring • Ball / foam pit • Giant climbing playground (support) • Art - public wall art - like graffiti wall • Augmented reality experience - mines or river fishing • Parkour / obstacle course (support)	• Dog park • Jumping pillow • Cricket nets • Air conditioning in public spaces • Fix/clean tennis courts • Rock climbing • Outdoor/indoor trampoline park • One water feature • Quiet places with seating for girls • Picnic areas • Natural logs play area • Trampoline park • Upgraded skate park - retain in location
Miscellaneous	• More activities for ages 10-12 • Issues: Lack of shade		• KFC • McDonald's • Macca's • Restaurants • GYG (Guzman y Gomez)

Collinsville Connect - Telecentre

Usage:

- Current Operation 9am – 5pm. Potential for 24hr use space. (has to be secure with security camera)
- Utilised by students, Seniors, Mining Company inductions/training
- Kids access without parents present, access all through the day and into the evening (not Late) people from the RV park
- There is ambition to offer externally hired/ booked with separate/ discrete after-hours access but is not currently available due to current facility
- Pretty high traffic would need resilient flooring of some description
- Lots of power / data required
- Rack can be in with councils in a segregated / compartmentalised rack
- Need to be multifunctional if council need to take over operation

Is the space fixed arrangement or flexible?

- General Computer lab 15 computers – Training / Class room with floor boxes and screen on wall etc (*teaching wall like in a school screen and whiteboard over that closes the screen away*)
- Desire potential for rooms to be reconfigurable
- Can share meeting / classrooms with library current room including office is approx. 30m²
- This is a small classroom setup rearrangeable desks would consider laptop storage in cupboard / lockable with charging facilities

What is the required capacity in each format?

- Max 10 for Training, 10 in Computer Lab
- *Hot desk use* - Potential for this but not the normal (the computers are free for anyone to use as in Hot desk would potentially allow access out of hours etc if it could be shown to be secure)
- *Space for a presenter/ teacher* - Teaching wall like in a school additional Space for Office with area to repair computers with storage for stationary in office, Cash handling,

Equipment:

- 3D Printer on Order Specs to be sent, desk sizes flexible – Wheeled stackable desks ideal. 1 x large copier, Provision for % of sit stand desks.
- Computers all hard data cabled, provision for WIFI, Telstra NBN, Can be in Council rack with isolation.
- Potential for sharing council internet, Power metering to be discussed Potentially power logger or separate meters – Currently Council pays for their power, TV Aerials to all screens
- Asset register for Computer Equipment to be provided (approx. desktop computers, Large copier, 2 x TVs)
- Cash Register, etc. – no furniture to be relocated

Staffing capacity requirement:

- (Currently assumed on-site staff space/ reception is shared with library) no additional reception space potentially combined with office space

Other design requirements:

- Kitchenette with Microwave, Boiling water, bar fridge, storage. Joinery incorporated into the rooms no separate Storage space required
- Money handling in office (cash register)
- Soundproof room for Training room (like a classroom)
- Potential requirement for task lighting in office for repairing computers lite from windows makes it hard to read screens

Collinsville Community Association / Collinsville Youth Coalition

Showgrounds Masterplanning

- Youth precinct – fence is required for security
 - Juniors 8-12
 - Seniors 13-17
- Caravan and travelling event occur once per year
 - 100 plus visitor who park in the show ring
- Melbourne Cup Day is Collinsville's Annual Show Day. It is a new even which is returning after a 30-year absence.
- Show day is typically a ticketed event. Required fencing and entry points
- Desire for field to have irrigation

Community Centre - auditorium.

- CCA uses the auditorium for morning melodies
 - Stage is required with access to PowerPoints
 - Bump in stage no preferred, due to set up and pack up requirement.
 - PWD seating important
 - Noted that existing piano does not get used.
- Expressed interest in using auditorium as a cinema
- CACOX to test fit kitchen for Lions requirements.
- Provided several mark-ups on draft plan

Rodeo & Equestrian Club

Rodeo and Equestrian

- Event Usage: Rodeo attracts ~500 people annually. Relocation into town could double attendance.
- Casual Usage: Public use outside of events to be restricted but no security fencing required. Council would maintain the facility with an event committee overseeing bookings.
- Operating Hours: Night operations would require event and area lighting.
- Site Access: Large vehicles (e.g., cattle trucks, 4WDs with horse floats) should access via Railway Rd. Potential to use the Council truck stop for overflow parking.

Equestrian Facility

- Primary Disciplines: Cutting, Barrel Racing, Camp drafting (not Dressage).
- Arena Requirements:
 - Rodeo and Barrel Racing can use the same arena.
 - Camp drafting typically requires a separate arena due to scheduling and space needs.
 - Rodeo arena size can be based on Capella/Nebo models.
 - Roof coverage is desirable but not essential.
- Amenities: sufficient amenities and showers for Competitors and separate amenities for event / general public

Rodeo Operations

- Governance: Managed by an incorporated Rodeo Club Committee under a Council lease. Current executive team aims to revamp the facilities.
- Arena Size & Infrastructure: Similar to existing size or modelled from Clermont Rodeo/Campdraft arenas.
- Animal Handling & Surfacing - further details needed.

If rodeo / sand horse riding ring considered in Showgrounds masterplan, further consultation required to:

- Understand maintenance responsibilities, confirm spatial requirements, and surface material preferences.
- Consider feasibility of improved infrastructure and governance models for future operations.
- Confirm equestrian and rodeo event scheduling, lighting, and access logistics.

Collinsville Lions

Major annual events:

- Australia Day Event
 - Breakfast and presentation in hall
- Melbourne Cup (show day)
 - 6 - 8 rides and 3-4 food trucks + Lions BBQ trailer.
 - Currently situated between community centre and you centre.
 - Potential to relocate to show ring, with sufficient power and water access.

Fridge size

- 2 x double fridges would be sufficient for food. Freezer room also required but does not need to be located in servery.
- Fridges for alcohol (could be under bench but is not ideal for older members)

Bench Space:

- Prep Space: 3-5m lineal meter of stainless-steel bench. 3-4 people for prep. Located adjacent to Bain marie space.
- Serving Space: 3-5 lineal metres. 5-6 people serving (2-3 for bar; 2-3 for food). Cash only service via lock up tins. 4 people located outside selling raffle tickets + food tickets etc. Drinks are sold separately at the bay.
- Bain Marie + Earn Space + toaster: 2-3m with three phase power. Output from BBQ trailer is transferred to bain marie in kitchen. Bain marie is currently an electric one which is borrowed.
- No oven are required. No frying facilities are required. Kitchen is not used for cooking. Bain marie is a 6 bay.

Further considerations

- Fly prevention to be considered.
- Trolley for transfer of cooked food from BBQ trailer to trailer.

Additional Events:

- May Day Event
- Youth of the year - 50 PAX
- No concurrency of events, as Lions events are held on public holidays.
- Shower facility necessary (possibly hall PWD).
- Outdoor power points required. Note BBQ trailer requires single phase power, and water.

- CACOX to test fit kitchen for Lions requirements.

Pensioners Group

- Concern about demolition of community centre given history of building and personal contributions during its construction
- Council identified that if there was a direction to make no changes to the building as part of this project significant works to upgrade the building would still be required within ten years which would trigger the requirements to upgrade to current code potentially at the cost of rate payers if not incorporated into this grant funded project.
- Desire to keep their kitchen and allocated lockable space.
- Identified that the construction may commenced end 2025 / early 2026 and take approximately 1 year to complete. The Collinsville football Club would be made available to them during this time.

Shape up Shed

Users

- Equal split of male and female users currently
- Busiest periods are generally around 10 people simultaneously. It's expected this may
- increase with an air-conditioned facility.
- Busiest periods are around mining shifts:
 - 3am – 5am
 - 7am - 7pm
 - 3pm – 5pm
 - 7pm – 9pm

Equipment

- All existing equipment to be retained
- Desired new equipment
 - 1 x additional squat rack
 - 1 x additional smith machine
 - 1 x additional bench press
 - 1 x additional treadmill
 - 4x benches in front of weights

General Planning

- 9m wide would be minimum width for 3 x rows of equipment
- Storage is required for paper towels, vacuum, and class equipment
- Open space for stretching is desirable
- Blank wall for medicine ball. Consider that wall will be high impact.
- No music is currently played. People bring their own headphones.
- Front desk – 2 x larger with under bench storage.
 - Desk is used for induction paperwork which is filed off site
 - Cash handling is via a metal box currently. This could be in a lockable drawer.
- Other items to be considered:
 - Water bubbler (none currently – water is bottled)
 - Cleaning wipe station
 - Notice board
 - Camera security system. This is used a deterrent only, with footage not archived.
- App functionality with expiring pin would be desirable for access control.
- Provided several mark-ups on draft plan

Birriah Traditional Owners

- Strongly value use of water - recognising the areas powerful waterways, lakes and ephemeral streams, could be in
 - Natural play areas
 - Landscaping - maybe also potential for food/medicine plantings with associated interpretive signage
 - Stormwater management
- Opportunities to capture specific Birriah dialect or broader Birri Gubba language in the building -
 - Recordings, audio stories, written, pre-cast panels, dedicated section in library
 - Opportunities for naming meeting rooms in language, corresponding with important places or boundaries of territory
- Space for artefacts, both in safe keeping and displays in library or tourism information. Noting up to 2 shipping containers of artefacts currently
- Considering storytelling in design - interpretive signage, art associated with above ideas.
- Would use building for director's meetings or group functions
- Linkages to tourism information centre / RV park also
- Linkages to other future project priorities in Country & Water plans - i.e. Welcome to Country signage and Carpet Snake Creek future pathway with interpretive signage
- Connecting past with future in design

Further meetings required to develop ideas within design.

11.4 - Infrastructure Services - Quarterly Report - October to December 2024

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: PA to the Director Infrastructure Services

AUTHORISING OFFICER: Director Infrastructure Services

PURPOSE

The purpose of this report is to provide an update pertaining to the functions of each branch within the Infrastructure Services Directorate for the period of October to December 2024.

EXECUTIVE SUMMARY

The Infrastructure Services Directorate provides a range of critical and essential services to the Community, many of the services provided have a direct interaction with the public or impact on the community.

The performance of each of the work unit areas within the Directorate are outlined in the attached Quarterly Report.

OFFICER'S RECOMMENDATION

That Council receive the Infrastructure Services Quarterly Report (Q2) for 2024/2025.

BACKGROUND

Report for information purposes.

DISCUSSION/CURRENT ISSUE

This report provides an overview of Whitsunday Regional Council's Infrastructure Services Directorate for the 2024/2025 financial year with particular focus on the second quarter.

FINANCIAL IMPLICATIONS

There are no financial implications with the Council accepting this report.

CONSULTATION/ENGAGEMENT

Director Infrastructure Services
Chief Operating Officer Whitsunday Water
Manager Waste and Recycling
Manager Parks and Gardens
Manager Transport and Drainage Assets
RMPC, Transport and Drainage Operations Manager

STATUTORY/COMPLIANCE MATTERS

N/A

RISK ASSESSMENT/DEADLINES

Regular reporting on the Directorates progress and achievements ensures accountability and fosters a positive culture.

STRATEGIC IMPACTS

Corporate Plan Reference:

Improve Council's Asset Management Planning maturity and develop Long Term Financial Plans for all asset classes which are financially affordable over the long term.

Meet Capital Works Delivery targets and ensure budget, time, and quality is maintained.

Provide great customer experience and service by utilizing a customer-facing mind set, meeting response time frames, researching our customers well and eliminating duplication.

Improve our transport network with a focus on meeting the economic needs for the region including road safety, road building, maintenance processes, and renewal of aging infrastructure.

Maintain a high level of preparedness, capability, and responsiveness to respond to and recover from natural disasters that impact on our local communities and infrastructure.

Provide reliable, safe, secure, environmentally responsible, and affordable water and waste services.

Provide a fantastic experience for our community and visitors when using our open spaces, natural features, and facilities.

ATTACHMENTS

1. Infrastructure Services Q 2 Report [11.4.1 - 11 pages]



Infrastructure Services

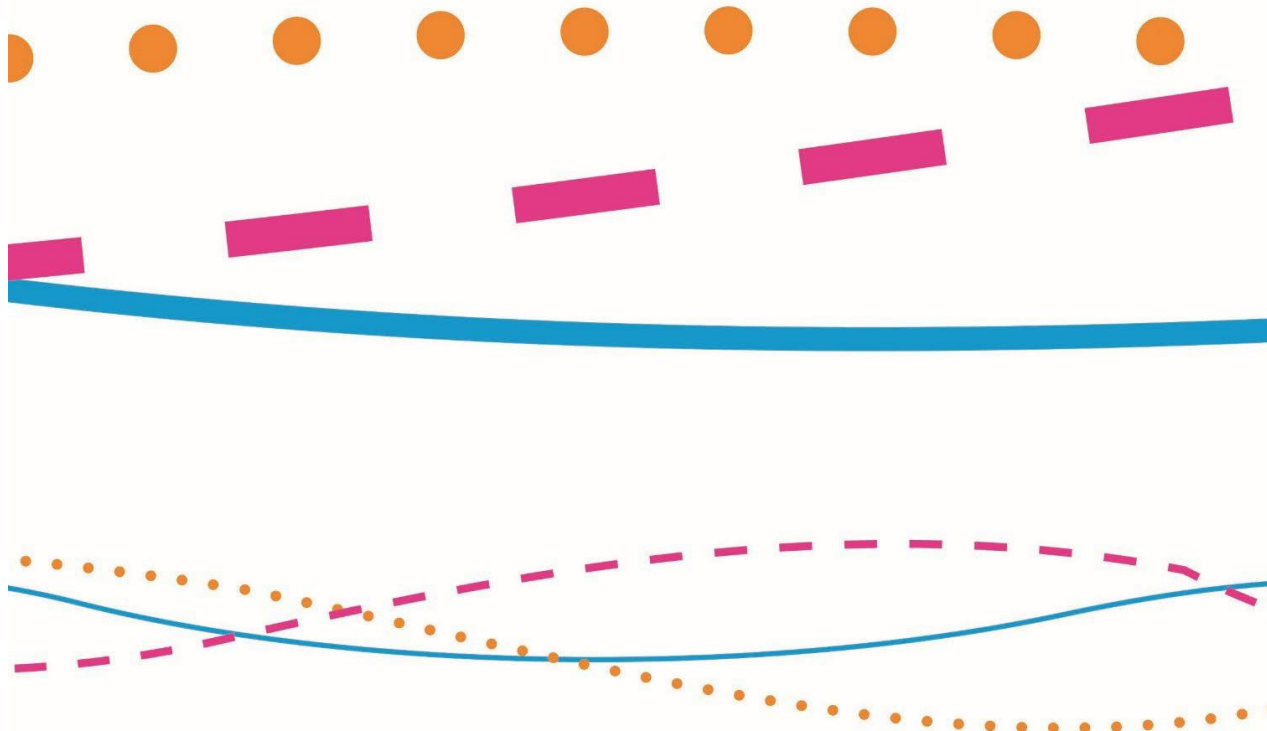
Parks & Open Spaces

Whitsunday Water

Waste & Recycling

Transport & Drainage

Quarterly Report | Q2 - 2024/2025



Director's Report

The Infrastructure Services Directorate provides a range of critical and essential services to the Community. Many of the services provided have a direct interaction with the public or impact on the community.

The Infrastructure Services Directorate consists of the following departments:

- Parks & Open Spaces
- Whitsunday Water
- Waste & Recycling
- Transport & Drainage

Parks and Open Spaces

Overview

Parks Assets:

- 120 parks & 3 cemeteries
- 93 separate playgrounds
- 156 pieces of playground equipment
- 30 pieces of exercise equipment
- 65 single & 40 double barbeques
- 742 hectares mowing & landscaping maintenance to parkland and recreational areas

Significant Projects and Opportunities:

- Mullers Lagoon Master Plan
- Network Planning for Township Parks (TBC)
- \$1.2m Asset Renewal Program for 24/25
- Pride Patrols

Major Risks:

- Assumption that Parks Team responsible for all public areas
- Increasing expectation of service levels
- Growing population
- Overservicing of lower-level parks
- Lack of current master planning for future open space

The Parks and Gardens team has continued its efforts across the region throughout the quarter, with significant progress on key projects, routine maintenance, and ongoing initiatives. Below is an overview of our achievements and activities for the quarter.

Highlights

Big Mango Information Centre: Completed garden bed upgrades, enhancing the aesthetic appeal of this prominent visitor attraction.

Environmental Health Initiatives: Successfully removed invasive Mother-in-law's tongue weeds (*Sansevieria trifasciata*) along the Horseshoe Bay Foreshore, promoting native vegetation growth.

Conducted cleanup operations at the Nona Street Foreshore beach access, improving accessibility and visual appeal.

Irrigation System Installation: Installed a new irrigation system at the Townsville/Bowen Intersection to sustain landscaping in this busy area.

Big Mango Bollards: Installed sandstone bollards to protect the irrigation system using the plumbers' backhoe and block grab, ensuring efficiency and durability.

Flagstaff Hill Handrail Installation: A new handrail was installed along the pathway, enhancing safety and accessibility for visitors.

Bowen South Entrance Gardens Revamp: The entrance gardens were revitalized with mulching and aesthetic improvements.

Hands on Learning Program: The Parks and Open Spaces team proudly hosted participants from Bowen State High School as part of their Hands on Learning initiative.

Participants engaged in a range of activities, including bollard installation and removal, invasive plant removal (mother-in-law's tongue), weeding, and assisting with the installation of Bowen's Christmas tree.

Team Recognition: A retirement celebration for Glenville Drinkwater at the Pit Pony Hotel, honouring his years of dedicated service to the community.

Maintenance Activities Collinsville: Cleared vegetation around the Collinsville Water Treatment Plant to prepare for the installation of new solar panels.

Re-waxed the Pit Pony statue in readiness for Miner Memorial Day, preserving this important local monument.

Playground Upgrades: Installed a new basket swing and replaced tunnel steps at the Airlie Beach Sailing Club Playground, ensuring safety and enjoyment for children.

Safety Enhancements: Installed bollards around the Lagoon area to enhance pedestrian safety in this high-traffic area.

New Shelters: Constructed three new shelters at Nelly's Bay and Dingo Beach Foreshore, adding valuable community amenities for public use.

Schoolies Event Preparations: The team ensured the Airlie Beach Foreshore was clean, safe, and ready to welcome attendees of the annual Schoolies event.

Remembrance Day Preparations: Spaces were meticulously prepared for Remembrance Day ceremonies, ensuring a respectful and well-maintained environment for the events.

Red Seat Installation: Completed the installation of red seats across the region to raise awareness about domestic violence, contributing to an important community initiative.

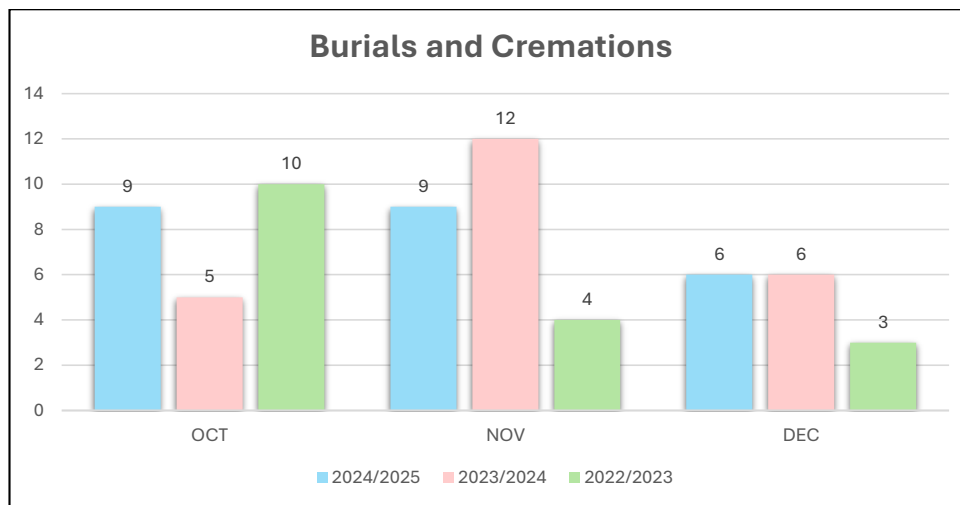


Parks & Open Spaces Statistics

LEVELS OF SERVICE Qrt 2					
TOWN	SERVICE	OCT %	NOV %	DEC %	Total
REGIONAL	MOW - HIGH	91.98% (287/312)	79.22% (225/284)	87.5% (259/296)	86.40%
	MOW - MED	94.54% (52/55)	96.22% (51/53)	87.5% (49/56)	92.70%
	MOW - ROADS	91.01% (152/167)	74.37% (119/160)	90.11% (155/172)	85.40%
	MOW - LOW	75% (9/12)	86.66% (13/15)	70% (7/10)	78.40%
	LANDSCAPING - HIGH	80.78% (328/406)	78.09% (303/388)	73.45% (285/388)	77.50%
	LANDSCAPING - MED	81.81% (27/33)	76.19% (32/42)	51.61% (16/31)	70.80%
	LANDSCAPING - ROADS	87.03% (47/54)	74.50% (38/51)	60.29% (41/68)	72.80%
	LANDSCAPING - LOW	100% (7/7)	22.22% (2/9)	28.57% (2/7)	47.80%

CRM'S Received & Closed - Parks & Open Spaces								
Year	October		November		December		TOTAL	
CRM's	Received	Closed	Received	Closed	Received	Closed	Received	Closed
2024/2025	76	47	95	54	67	48	238	149
2023/2024	82	45	88	61	48	38	218	144

TOTAL BURIAL & CREMATIONS				
	OCT	NOV	DEC	TOTAL
2024/2025	9	9	6	24
2023/2024	5	12	6	23
2022/2023	10	4	3	17



Whitsunday Water

The following information provides a high-level overview of operational undertakings of the water and wastewater business activity for Q2 2024.

Water/Wastewater Major Risks

- Keeping abreast of future planning and catering for growth
- Changing legislation
- REEF effluent discharge
- Emerging contaminants of concern – PFAS, micro plastics etc
- Resourcing/market constraints
- Infrastructure Cliff – buried assets

A total of 402 requests for service were received in the quarter.

The tables below display the contribution of each customer request category to the total.

	Scheme			
Category - Water	Bowen	Coastal	Collinsville	Proserpine
Low water pressure	5	5	7	2
Water planned interruption	-	1	-	3
No water	4	1	8	12
Fire Hydrants	8	3	3	2
Water unplanned interruption	6	5	2	1
Dirty Water/Quality	4	-	-	2
Water Main Broken/Leaking	13	6	4	1
Water other	24	35	7	8
Water Meter Damaged/Leaking	10	8	4	4
Water Service Broken/Leaking	53	60	16	30
Water connections	3	15	-	-
	Scheme			
Category - Sewer	Bowen	Coastal	Collinsville	Proserpine
House pump alarm	-	3	-	-
Manholes	1	1	-	2
Pump stations	-	-	-	1
Sewer mains	-	3	-	1
Sewer odour	2	2	-	1
Sewer overflows and blockages	5	1	-	2
Sewer other	2	-	-	2

Whitsunday Water Highlights

- Bowen High Lift Pump Station has been prepared for the rebuild project. Former bunds, tanks and electrical infrastructure has been moved to make way for the works.
- New Spirac biosolids bins arrived at Bowen and Proserpine STPs. These eliminate the hire of equipment and homogenise waste cartage to allow efficient cartage between compatible dewatering systems.
- Installation of new fence was completed at Satinwood reservoir.
- Replacement of bore at Bowen Bore 7
- The Drinking Water Quality Management Plan Annual Report 2023-2024 was completed and submitted to the water regulator, Department of Regional Development Manufacturing and Water as a condition of being an approved water service provider.
- Installation of 300mm valve to allow testing at Bowen Bore 10
- Replacement screens were installed as well as blast and coat treatments to the augers on the primary treatment area at Proserpine STP. As a result, we discovered a sterling silver spoon captured by the new screens. Not only did this somehow find its way into the sewage network but managed to survive the various pumps transferring the water to the plant
- Whitsunday Water Administration Coordinator Shannon Lorroway was recognised for 20 years of service to Council and the community during the Employee Recognition Service.

Waste & Recycling

The *Let's Get it Sorted* program is progressing well with advertisements detailing ways to improve recycling practices being circulated through social media and Council's website. This includes information on ways to improve recycling rates, what can be recycled, and what happens to your yellow bin when collected from the kerbside.

There also remains a high level of interest from schools, with regard to waste and recycling presentations. Presentations to date have included information on Council's waste network, positive recycling practices, and ways to minimise waste going to landfill. These presentations have been well received and are on-going.

The construction of our next waste disposal cell at Kelsey Creek Landfill, Cell 6, has proven to be challenging due to recent weather. We are appreciative of our staff and contractors who have persevered through some challenging moments, endeavouring to keep construction projects moving and services operational.

Waste & Recycling Major Risks

- Consumption of landfill space
- Legacy landfills
- Adequate future planning and catering for growth
- Changing legislation

Waste Management

- Bowen Landfill: **10,931** tonnes of waste received.
- Kelsey Creek Landfill: **1,916** tonnes of waste received.
- Landfilled: **9,635** tonnes of waste landfilled.
- **2,360** Tonnes of Kerbside General Waste collected.
- **398** Tonnes of Kerbside Recycling collected and delivered to the MRF in Mackay.

Transport & Drainage

Maintenance activities carried out by the Roads and Drainage team are generally a combination of customer requests through Councils Customer Request Management (CRM) system and internally planned activities.

The following table is a summary of the CRM's received from 1 October to 31 December 2024:

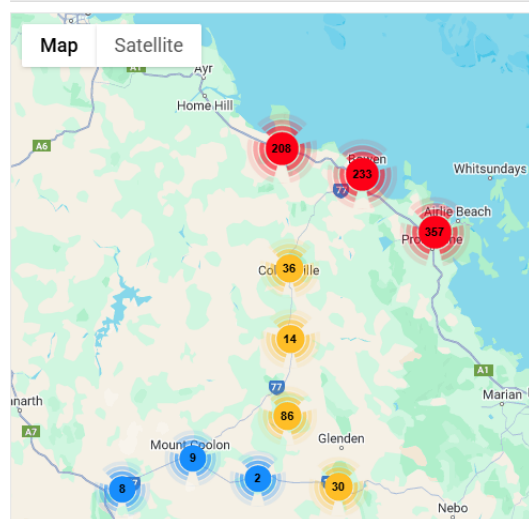


Major / Minor Category	New	Closed	C/F Open	Within Tgt	%	Overdue	%
Roads and Infrastructure	342	260	82	243	71%	99	29%
Boat Ramps and Pontoons	2	2	0	2	100%	0	0%
Bridges (excluding State Controlled Roads)	3	3	0	3	100%	0	0%
Bus Shelters / Stops	3	2	1	2	67%	1	33%
Car Parks (Refer to Local Laws for Carparking)	2	1	1	1	50%	1	50%
Footpaths and Boardwalks	59	46	13	41	69%	18	31%
Gates and Grids	4	4	0	4	100%	0	0%
Kerb and Channel	9	9	0	7	78%	2	22%
Linemarking	13	8	5	7	54%	6	46%
Median Strips	1	1	0	0	0%	1	100%
Overgrown Roadsides	12	11	1	10	83%	2	17%
Road Works Permit Application	5	3	2	3	60%	2	40%
Pothole	33	30	3	30	91%	3	9%
Rail Crossing Safety	1	0	1	0	0%	1	100%
Rest Area	1	1	0	1	100%	0	0%
Road Design & Construction	9	3	6	3	33%	6	67%
Flooded Roads	5	1	4	4	80%	1	20%
Road Hazard (Traffic impediment requiring imr)	19	9	10	9	47%	10	53%
INACTIVE - Road Openings / Temporary Road	2	2	0	2	100%	0	0%
General Roads and Drainage	22	13	9	12	55%	10	45%
Unsealed Road Maintenance	29	24	5	21	72%	8	28%
Sealed Road Maintenance	12	10	2	10	83%	2	17%
Rural Numbering	16	13	3	13	81%	3	19%
State Controlled Roads (Refer to Transport & I	1	1	0	1	100%	0	0%
Street Lights	10	8	2	7	70%	3	30%
Street Furniture and Signs	42	37	5	33	79%	9	21%
Street Sweeping	8	8	0	8	100%	0	0%
Street Trees - Rural Areas (Roads Team)	5	4	1	4	80%	1	20%
Speed Limits / Traffic Management	13	5	8	4	31%	9	69%
Urban Numbering	1	1	0	1	100%	0	0%

Defects Raised on the RMPC REFECT Data Base between 01/10/2024-31/12/2024:

DEFECTS MAP VIEW

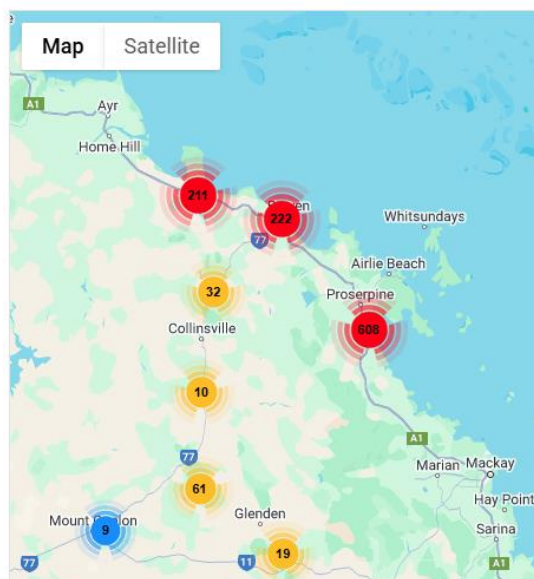
Showing 983 items on map and 1 with no Lat/Long.



Accomplishments entered into the RMPC REFLECT Data Base between 01/10/2024-31/12/2024:

ACCOMPLISHMENT MAP VIEW

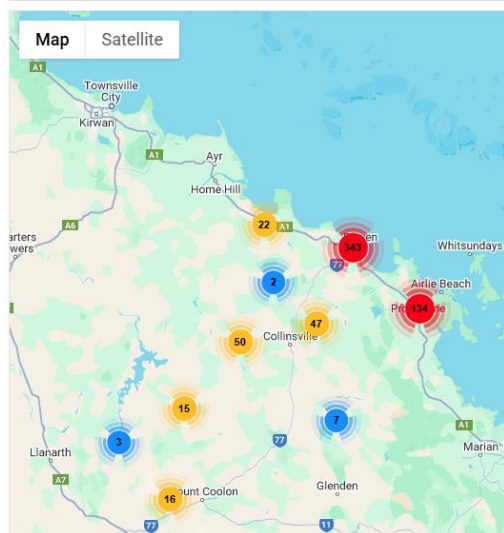
Showing 1174 items on map and 132 with no Lat/Long.



Defects Raised on the Whitsunday Local Roads REFECT Data Base between 01/10/2024-31/12/2024:

DEFECTS MAP VIEW

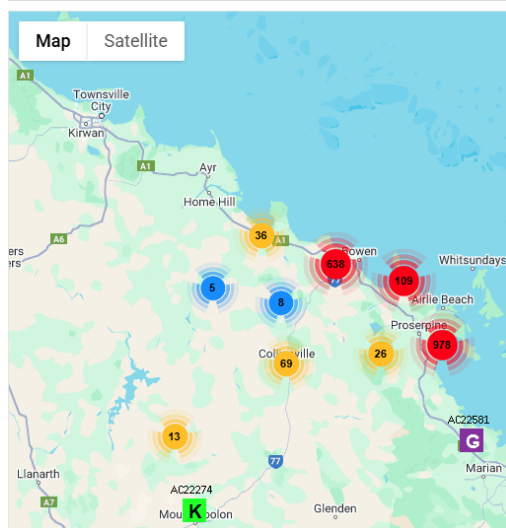
Showing 639 items on map and 2 with no Lat/Long.



Accomplishments entered into the Whitsunday Local Roads REFLECT Data Base between 01/10/2024-31/12/2024:

ACCOMPLISHMENT MAP VIEW

Showing 1884 items on map and 444 with no Lat/Long.



A summary of all works undertaken (accomplished) on Whitsunday Local Roads during Oct-Dec 2024 is shown below:



Accomplishment			
Activity Name	Unit Of Measure	Activity	Qty Accomp
Asset & Defect Inspections	Inspections	1102	1,105.00
Boardwalk Oil/Repair	m	15	2,349.00
Bridge Clear/Repair	job	4	375
Bus Stop Clean/Repair	job	2	2
Crack Seal Treatment	m2	10	2,799.00
Culvert Clear/Repair	job	72	135
Edge Repair	tonne	26	33.12
Emergency Callout	job	2	3
EWK - Emergency Repairs	m2	2	1
EWK - Other	job	3	3
Floodways Clear/Repair	m2	14	503
Footpath Maintenance	m2	137	9,681.50
Grids	job	1	1
Guard Rail Repair/Replace	m	5	11.7
Guide Markers Repair/Replace	ea	88	287
Heavy Formation Grading	km	4	13.85
Herbicide Spraying	litre	73	10,205.00
Kerb & Channel Maintenance	m	10	130.4
Line Marking	m	23	372
Medium Formation Grading	km	63	269.29
Mowing	m2	2	800
Other Formation Work	job	6	6
Pavement Repairs	m2	33	1,356.00
Pothole Patching	tonne	190	204.46
Roadside Object Removal	m3	15	16.561
Scour Repairs	m2	29	23,499.00
Shoulder Grading	km.side	23	25.52
Signs Repair/Replace	ea	206	337
Surface Correction	m2	5	70
Surface Drains Clear/Repair	m	69	2,773.00
Surface Sweeping	km	4	55.02
Tractor Slashing	Hectares	49	48.5
Vegetation Clearing	m3	34	558.36

11.5 - Commercial Businesses Quarterly Report - October to December 2024

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Senior Commercial Officer Aviation and Tourism

AUTHORISING OFFICER: Director Commercial Businesses

PURPOSE

To advise Council of the activities of the Commercial Businesses Directorate from October to December 2024.

EXECUTIVE SUMMARY

Council's Commercial Businesses Directorate consists of the following business units:

- Whitsunday Coast Airport and Aerodromes;
- Shute Harbour Marine Terminal;
- Whitsunday Holiday Parks;
- Economic Development; and
- Foxdale Quarry.

Operational updates from each business unit are detailed in **Attachment 11.5.1**.

OFFICER'S RECOMMENDATION

That Council endorse the Commercial Businesses Directorate Quarterly Report from October to December 2024 as per **Attachment 11.5.1**.

BACKGROUND

This report is for informational purposes only.

DISCUSSION/CURRENT ISSUE

Please refer to **Attachment 11.5.1** detailing the activities during October to December 2024 by the Commercial Businesses Directorate.

FINANCIAL IMPLICATIONS

N/A

CONSULTATION/ENGAGEMENT

Acting Whitsunday Coast Airport Operations Manager
Manager Tourism, Aviation and Marine
Manager Foxdale Quarry

STATUTORY/COMPLIANCE MATTERS

N/A

RISK ASSESSMENT/DEADLINES

N/A

STRATEGIC IMPACTS

Corporate Plan Reference:

Manage the aviation and tourism activities of the region as the gateway to the Whitsundays.

Ensure WRC openly communicates with and promotes the communities of the Whitsunday Region.

Support the organisation in ensuring appropriate compliance with legislation and to support the elected council in its decision-making processes and obligations as a local government.

To support business units across Council in the delivery of their objectives through enabling access to Grants and Funding.

Meet Capital Works Delivery targets and ensure budget, time, and quality is maintained.

ATTACHMENTS

1. Commercial Businesses Quarterly Report - October to December 2024 [11.5.1 - 7 pages]

Whitsunday Regional Council

Commercial Businesses Directorate

Quarterly Operations Report

October - December 2024



This is page 245 of the Agenda of Council's Ordinary Council Meeting - 26 March 2025



Whitsunday Coast Airport

Operations

- Received Gold & Hall of Fame at the Whitsunday Tourism Awards.
- Received Bronze at the Queensland Tourism Awards.
- Collinsville Aerodrome Runway upgrade completed.
- Hosted Whitsunday Christian College students.
- Joined the Hidden Disabilities Sunflower Program .
- New tenancy - RedSpot car rental.
- Front roadway works upgrade completed .
- 140,907 passengers October to December 2024.
- 82% average load factor October to December 2024.
- Installation of luggage storage lockers.
- Full scale Aerodrome Emergency Exercise completed in November 2024.
- Airport Safety Week 14-18 October 2024.
- 10,000kgs of freight through the Freight Distribution Centre.

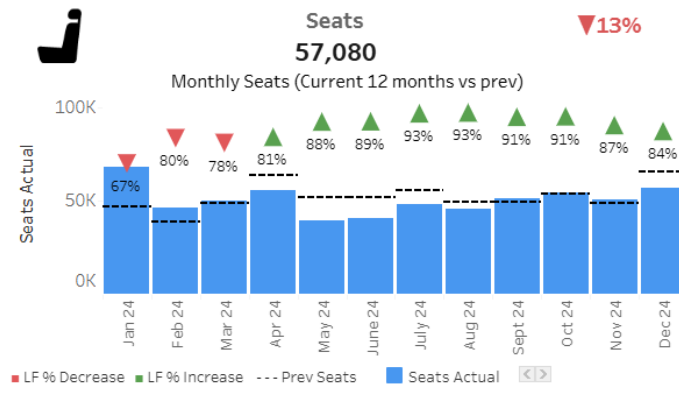
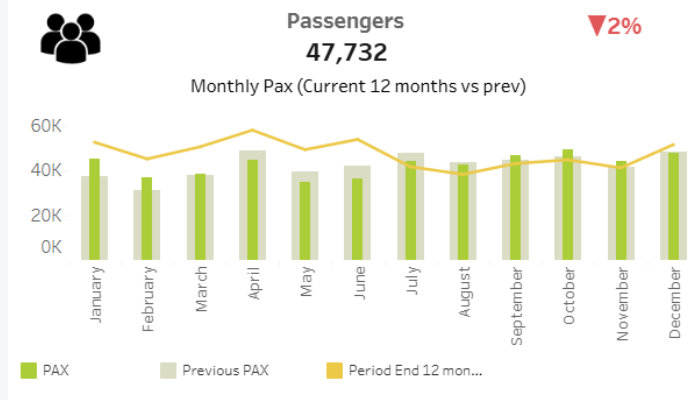


Whitsunday Coast Airport

Attachment 11.5.1 Commercial Businesses Quarterly Report - October to December 2024

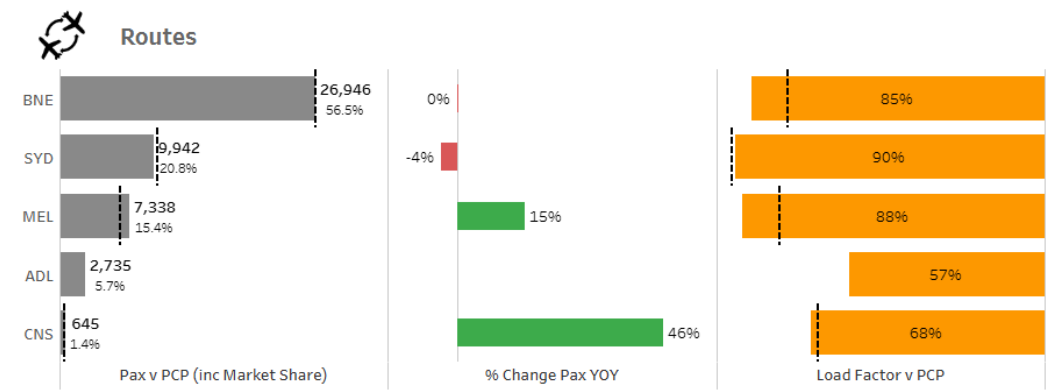
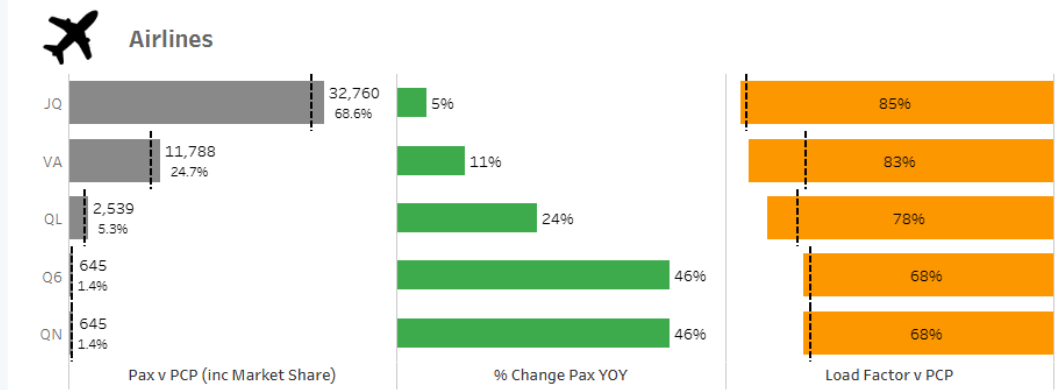
Flight Dashboard - Month Actual Results ending December 2024

Airport Iata Code: **PPP** | Flight Category: **DOMESTIC** | Airline: **All** | Flight Type: **All**



Passengers vs Budget 47,732 vs 51,434 ▼7%

	Month Actual	Month Budget	FYTD Actual	FYTD Budget
Airlines				
JQ	32,760	36,896	184,558	176,957
VA	11,788	10,446	68,809	59,720
QL	2,539	3,875	16,784	20,324
Q6	645	217	4,070	2,910
QN	645	217	4,070	2,910
Routes				
BNE	26,946	26,968	150,943	143,858
SYD	9,942	11,504	59,857	56,344
MEL	7,338	7,555	47,316	41,499
ADL	2,735	3,370	11,909	13,480
CNS	645	217	4,070	2,910



This is page 247 of the Agenda of Council's Ordinary Council Meeting - 26 March 2025



Shute Harbour Marine Terminal

Operations

- Received Silver at Whitsunday Tourism Awards & Qld Tourism Awards.
- 14,000 est. resort connection passengers.
- 33,000 est. cruise ship passengers.
- Ten cruise ships at port.
- Two overnight stays.
- Whitsunday Ferries acquired an additional vessel.

Events Held

- 20th Anniversary Cruise Ship Ambassadors Celebrations.
- Proserpine State High School Formal.
- WRC Leadership Forum.
- JJ Richards National Conference .
- WRC SLT Team Day.
- Whitsunday Transit Christmas Party.



Economic Development

Economic Development and Advocacy

- Economic Development Strategy – Coordinated engagement sessions with over 40 key stakeholders interviewed and a briefing presented to Council. Themes and actions reviewed, and feedback provided to inform first draft.
- Economic Development Advisory Group Commenced Monday, 28 October. This group has been established with key industry and business stakeholders to provide guidance and advise on economic development initiatives in the region.
- Business support - delivery of the first procurement workshop in Airlie Beach to educate local business to better work with Council.
- Round Table of top employers in the region held to discuss attraction and retention of workforce, accommodation, and housing in the region and to better understand how council can assist or partner to achieve outcomes in the region.
- Bowen Foreshore – conducted internal and external interviews and site visits with over 30 stakeholders and collated reports and studies to inform the Foreshore Masterplan, first draft of Master Plan complete for internal review.
- Advocacy – as an outcome of the State Elections, a range of communications were sent to new Ministers and Director Generals and advocacy collateral refreshed. Hosted the Sports and Tourism DG, showcasing our regions tourism and sports offerings in Airlie Beach, Shute Harbour and Proserpine.
- Recruitment for the Manager Attraction, Investment & Growth has been finalised with commencement in March 2025.

Grants and Funding

- New Grants Policy presented to WRC Grant Group.
- Submitted 7 applications for over \$31M in funding including Cannonvale Community Facility, Whitsunday Regional Sport Precinct, Australia Day, Fishing skills day, Uni Hub for Bowen, SES facility upgrades and a Library program.
- Developed needs assessment and pitch document to support submission for the Bowen South Sewer - Housing Growth Project.
- Total funding attained for Q2 - \$7,268,156,80.

Economic Events

- Hosted the second Whitsunday Regional Economic Event with guest speaker Bernard Salt providing a Demographic Outlook. 150+ residents, business owners and industry leaders attended.
- Attended the Professional Conference Organisers Association conference for professional development and networking opportunities in the business events space. Connected with industry and secured leads to help grow the Whitsunday events space in 2025.
- Researching and developing the ED Events Plan, policies, and toolkits to support the ED Events role moving forward.
- Discussions held regarding potential major events and festivals for the Whitsunday region.

Foxdale Quarry

Operations

- Material crushed: 37,090 tonnes.
- Material sold: 31,067 tonnes.
- The Quarry supplied 1,348 tonnes of large armour rock for the first time to the Port of Townsville.
- Production was a key focus during the quarter to keep up with the product demand and building stockpiles before the wet season.



Whitsunday Holiday Parks



Occupancy 17%



Occupancy 68%



Occupancy 31%

Operations

- Kids Fishing Day held 5 October 2024 in conjunction with the Barra Cash Dash launch.
- Undergoing various capital projects at Queens Beach Bowen Holiday Park to uplift overall presentation and facilities.
- New signage installed across all three parks.
- New uniforms for caretakers.

11.6 - Donation Request - Rates and Service Charges - Bowen Seagulls Rugby League

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Community Development Officer

AUTHORISING OFFICER: Director Community Services and Facilitation

PURPOSE

For council to consider a request from the Bowen Seagulls Rugby League Inc. for a donation on their rates and service charges at 4-24 Queens Road, Bowen for the period of 1 August 2023 to 30 June 2024 and 1 July 2024 to 30 June 2025.

EXECUTIVE SUMMARY

The Bowen Seagulls Rugby League Inc. have applied for a donation on their Rates and Services Charges in line with Councils Donation on Rates and Service Charges for Not-for-Profit Organisations Policy.

On 1 August 2023, Bowen Seagulls Rugby League Inc. entered into a Lease Agreement with Whitsunday Regional Council for Denison Park at 4-24 Queens Road Bowen, making the club eligible for a donation on the relevant rates and services in accordance with the Donations on Rates and Charges for Not-for-Profit Organisations Policy.

OFFICER'S RECOMMENDATION

That Council:

- a) Approve a donation of \$2,743.32 to Bowen Seagulls Rugby League Inc. which is equivalent to 100% of the nett General Rate for the period 1 August 2023 to 30 June 2024.
- b) Approve a donation of \$12,661.15 to Bowen Seagulls Rugby League Inc. which is equivalent to 100% of the nett General Rate, 50% of the nett Service Charges and 50% of the Water Consumption Charges for the period 1 July 2024 to 31 December 2024.
- c) Approve a donation of \$4,337.45 to Bowen Seagulls Rugby League Inc. which is equivalent to 100% of the nett General Rate and 50% of the nett Service Charges for the period 1 January 2025 to 30 June 2025.

BACKGROUND

In accordance with Councils Donations on Rates and Charges for Not-for-Profit Organisations Policy, Council may grant a donation, in the form of a rebate of a percentage of certain Council Rates and Charges, for particular categories of Not-for-Profit Organisations. Eligible organisations may receive a donation of 100% of the nett General Rates and 50% of the nett Service Charges incurred for the financial year.

DISCUSSION/CURRENT ISSUE

The donation to be provided to Bowen Seagulls Rugby League Inc. is equivalent to 100% of the nett general rates, 50% nett service charges and 50% of water consumption charges levied for the period from 1 August 2023 to 30 June 2025. The below table provides a breakdown of the charges:

Rates and Service Charges – 1 August 2023 to 30 June 2024			
Item	Nett Rates (\$)	Donation (%)	Donation (\$)
General Rates	2,743.32	100	2743.32
Total			2,743.32
Rates and Service Charges – 1 July 2024 to 31 December 2024			
Item	Nett Rates (\$)	Donation (%)	Donation (\$)
General Rates	1,535.41	100	1,535.41
Sewerage Charge	4,825.00	50	2,412.50
Water Base	366.00	50	183.00
Water Consumption	17,060.48	50	8,530.24
Total			12,661.15
Rates and Service Charges – 1 January 2025 to 30 June 2025			
Item	Nett Rates (\$)	Donation (%)	Donation (\$)
General Rates	1,535.41	100	1,535.41
Sewerage Charge	4,825.00	50	2,412.50
Water Base	366.00	50	183.00
5% Discount			206.54
Total			4,337.45
Total Donation			19,741.92

FINANCIAL IMPLICATIONS

The funds will be taken from JC: 2967.10086.63150 – community donations (2967) / Rates and Service Charges Donations (10086) / Donations & Sponsorships – Other.

Description	Amount
2024/25 Budget	\$540,000
Actual + Commitment Spend	\$595,956
YTD Remaining Budget	-\$55,956

While the budget allocation for the Rates and Service Donations budget has been exhausted for the year, the overall budget allocation for Community Donations remains under budget by approximately \$228,646.00 which will be looked at during BR3.

There are sufficient funds available in this allocation to fund the additional proposed grants in this instance. Funding this donation will not exhaust the budget.

CONSULTATION/ENGAGEMENT

Director Community Services and Facilitation

STATUTORY/COMPLIANCE MATTERS

Local Government Act 2009
FIN_22 – Donation on Rates & Services

RISK ASSESSMENT/DEADLINES

There is a financial cost to Council, however the assistance provided will support the activities of this local community group.

STRATEGIC IMPACTS

Corporate Plan Reference:

Facilitate, foster and encourage region wide activities and programs that engage our community.

ATTACHMENTS

Nil

11.7 - Donations, Sponsorships, In Kind Requests and Grants Approved in February 2025

MEETING DETAILS: Ordinary Council Meeting - Wednesday 26 March 2025

AUTHOR: Community Development Officer

AUTHORISING OFFICER: Director Community Services and Facilitation

PURPOSE

To advise Council of the donations, sponsorships, in-kind support and grants up to \$20,000 provided for the month of February 2025.

EXECUTIVE SUMMARY

Council is often approached by community groups for financial assistance, requesting support to help them deliver their endeavours and events within the community. These requests are assessed and approved or declined as they are received by the Community Services team and a monthly report is submitted to Council advising of the assistance that has been approved, as per resolution 2024/06/26.19.

Approvals outlined in this report include:

- a) Financial Support for Junior Elite Athlete Grants
- b) Donations
- c) Sponsorships
- d) Sponsorship In-Kind Requests
- e) Sport and Recreation Club Grants

OFFICER'S RECOMMENDATION

That Council:

- a) Note the Financial Support for Junior Elite Athlete Grant applications approved for the month of February 2025 to the applicants identified in **Attachment 11.7.1**.
- b) Note the Financial Support for Donation applications approved for the month of February 2025 to the applicants identified in **Attachment 11.7.2**.
- c) Note the Financial Support for Sponsorship applications approved for the month of February 2025 to the applicants identified in **Attachment 11.7.3**.
- d) Note the Financial Support for Sport & Recreation Club application approved for the month of February 2025 to the applicants identified in **Attachment 11.7.4**.
- e) Note the Financial Support for Donation on Council Fee applications approved for the month of February 2024 to the applicants identified in **Attachment 11.7.5**.

BACKGROUND

As per resolution 2024/06/26.19, Council resolved to:

- 1) Adopt the following amended policies:
 - a. Community Donations Policy
 - b. Community Sponsorship Policy
 - c. Community Grant Policy
- 2) Revoke the Financial Support for a Junior Elite Athlete Policy.

DISCUSSION/CURRENT ISSUE

Below is an overview of the financial approvals that were made in the month of February 2025. A detailed description of each can be found in the attachments.

Junior Elite Athlete Grant

6 approved, totalling \$1,500

Donations

3 approved, totalling \$5,600

Sponsorships

4 approved, totalling \$10,500

In-Kind Sponsorship Requests

1 approved, totalling \$2,000

Sport & Recreation Club Grants

4 approved, totalling \$6,000

Donation on Council Fees

10 approved, totalling \$5,053

FINANCIAL IMPLICATIONS

The funds for Junior Elite Athlete Grants will be taken from JC: 2967.11074.63150 - Community Donations (2967) / Donations (11074)

Description	Amount (\$)
2024/25 Budget	80,000
Actual + Commitment	73,094
YTD Remaining Budget	6,906

The funds for the Donations will be taken from JC: 2967.11074.63150 – Community Donations (2967) / Donations (11074)

Description	Amount (\$)
2024/25 Budget	80,000
Actual + Commitment	73,094
YTD Remaining Budget	6,906

The funds for Sponsorships will be taken from JC: 2967.10249.63150 – Community Donations (2967) / Sponsorships (10249)

Description	Amount (\$)
2024/25 Budget	120,000
Actual + Commitment	41,275
YTD Remaining Budget	78,725

The funds for Sponsorships – in-kind will be taken from JC: 2967.10642.60002 – Community Donations (2967) / Council in-kind Support (60002) / Salary Overtime

Description	Amount (\$)
2024/25 Budget	45,000

Actual + Commitment	11,905
YTD Remaining Budget	33,095

The funds for Sport & Recreation Club Grant will be taken from JC: 2967-10250-63151

Description	Amount (\$)
2024/25 Budget	110,000
Actual + Commitment	51,500
YTD Remaining Budget	58,500

The funds for Donation on Council Fees will be taken from JC: 2967-10249-63150
Community Donations (2967) / Sponsorships (10249)

Description	Amount (\$)
2024/25 Budget	120,000
Actual + Commitment	35,269
YTD Remaining Budget	84,731

CONSULTATION/ENGAGEMENT

Director Community Services and Facilitation

STATUTORY/COMPLIANCE MATTERS

Local Government Act 2009

Local Government Regulation 2012

Community Donations Policy

Community Sponsorships Policy

Community Grants Policy

RISK ASSESSMENT/DEADLINES

There is a financial cost to Council, however the assistance provided will support the activities of community and sporting groups in the Whitsunday Region.

To be completed by 30 June 2025 in line with the 2024/25 financial year budget.

STRATEGIC IMPACTS

Corporate Plan Reference:

Facilitate, foster and encourage region wide activities and programs that engage our community.

ATTACHMENTS

1. Approved Financial Support for Junior Elite Athlete Grant - February 2025 [**11.7.1** - 1 page]
2. Approved Donation Applications - February 2025 [**11.7.2** - 1 page]
3. Approved Sponsorship Applications - February 2025 [**11.7.3** - 1 page]
4. Approved Sport Recreation Club Grants - February 2025 [**11.7.4** - 1 page]
5. Approved Donation on Council Fees Applications February 2025 [**11.7.5** - 1 page]



Correspondence:
 Chief Executive Officer,
 Whitsunday Regional Council,
 PO Box 104, Proserpine QLD 4800
 P: 1300 WRC QLD (1300 972 753)
 F: (07) 4945 0222
 E: info@whitsundayrc.qld.gov.au
www.whitsundayrc.qld.gov.au
 ABN 63 291 580 128

Attachment 1 – Approved Financial Support for Junior Elite Athlete Grant Applications – February 2025

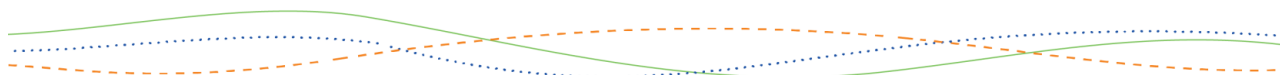
Name	Location	Age	Competition	Competition Level	Sport	Received Funding Previously	Amount (\$)
Jax Clayworth	Cannonvale	11	QLD Sprint Championships	NQ	Swimming	Yes	\$250
Ruby Lawson	Cannonvale	13	QLD Sprint Championships	NQ	Swimming	No	\$250
Andie Reynolds	Proserpine	12	QLD Sprint Championships	NQ	Swimming	Yes	\$250
Koa Harland	Proserpine	10	QLD Sprint Championships	NQ	Swimming	No	\$250
Ruby Harland	Proserpine	12	QLD Sprint Championships	NQ	Swimming	Yes	\$250
Charlotte Adams	Airlie Beach	17	Horseball World Cup	AUS	Equestrian	Yes	\$250
TOTAL for February 2025							\$1,500

Bowen
 Cnr Herbert & Powell Streets
 Bowen QLD 4805

Proserpine
 83-85 Main Street
 Proserpine QLD 4800

Collinsville
 Cnr Stanley & Conway Streets
 Collinsville QLD 4804

Cannonvale
 Shop 23, Whitsunday Plaza
 Shute Harbour Road, Cannonvale QLD 4802





Correspondence:
 Chief Executive Officer,
 Whitsunday Regional Council,
 PO Box 104, Proserpine QLD 4800
 P: 1300 WRC QLD (1300 972 753)
 F: (07) 4945 0222
 E: info@whitsundayrc.qld.gov.au
www.whitsundayrc.qld.gov.au
 ABN 63 291 580 128

Attachment 2 – Approved Donation Applications – February 2025

Organisation Name	Location	Description	Donation Amount (\$)
Zonta Club Whitsundays	Airlie Beach	International Women's Day Event 2025	\$500
Bowen Cancer and Ostomy Support Group	Bowen	Hire Fees to Host Meetings	\$1,100
The Probus Club of Bowen	Bowen	Transport Costs to Attend Morning Melodies	\$4,000
Total for February 2025			\$5,600

Declined Donation Applications – February 2025

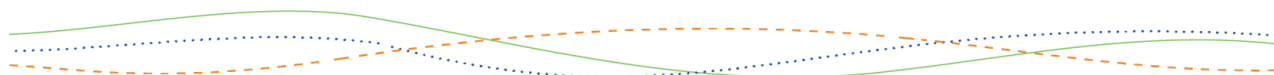
Organisation Name	Location	Description	Reason
Mackay 50's & Better Programme Inc	Mackay	Prize Donation – Senior Social Club	Based outside of Whitsunday region
Yooribaya Cultural Experience	Cannonvale	Murri's Gona Walkabout Men's Healing Camp	Registered business – does not align with policy

Bowen
 Cnr Herbert & Powell Streets
 Bowen QLD 4805

Proserpine
 83-85 Main Street
 Proserpine QLD 4800

Collinsville
 Cnr Stanley & Conway Streets
 Collinsville QLD 4804

Cannonvale
 Shop 23, Whitsunday Plaza
 Shute Harbour Road, Cannonvale QLD 4802





Correspondence:
 Chief Executive Officer,
 Whitsunday Regional Council,
 PO Box 104, Proserpine QLD 4800
 P: 1300 WRC QLD (1300 972 753)
 F: (07) 4945 0222
 E: info@whitsundayrc.qld.gov.au
www.whitsundayrc.qld.gov.au
 ABN 63 291 580 128

Attachment 3 – Approved Sponsorship Applications – February 2025

Organisation Name	Location	Description	Amount (\$)
Proserpine Agricultural, Pastoral & Industrial Association	Proserpine	Silver Sponsorship - Show Ball 2025	\$1,000
Whitsunday Swimming Club	Proserpine	2025 Short Course Meet	\$2,500
SoundzGood	Bowen	SoundzGood Flagstaff Hill Music Festival	\$3,000
Habitude	Regional	Youth Leadership Self-awareness Workshops	\$4,000
Total for February 2025			\$10,500

Attachment 3 – Approved In-Kind Sponsorship Applications – February 2025

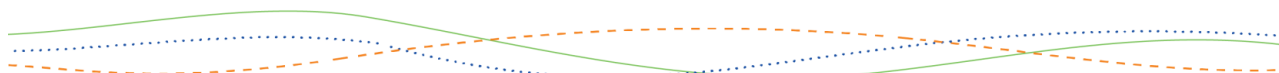
Organisation Name	Location	Description	Amount (\$)
SoundzGood	Bowen	SoundzGood Flagstaff Hill Music Festival	\$2,000
Total for February 2025			\$2,000

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Attachment 4 – Approved Sport and Recreation Club Grant Applications – February 2025

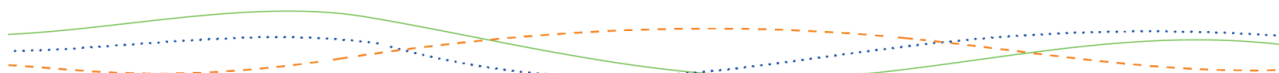
Organisation Name	Junior Members	Senior Members	Total Members	Band	Public Liability	Amount Approved (\$)	Town
Bowen Polocrosse Club Inc.	10	30	40	1	Yes	1,000	Bowen
Bowen Garden Workshop Assn Inc.	0	118	118	2	Yes	1,500	Bowen
Cannonvale Cannons Swimming Club Inc.	74	67	141	3	Yes	2,000	Cannonvale
Whitsunday Mountain Bike Club Inc.	14	47	61	2	Yes	1,500	Airlie Beach
					Total	6,000	

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Attachment 5 – Approved Donation on Council Fee Applications – February 2025

Organisation Name	Location	Description	Donation Amount (\$)
Whitsunday Triathlon Club	Broadwater Ave Carpark	Coral Sea Marina Resort Airlie Beach Triathlon	745
Club Outrigger Whitsunday Inc.	Shute Harbour to Airlie Foreshore	Outrigger Whitsunday Grand Prix Regatta	745
Whitsunday Running Club	Airlie Beach Foreshore	Tassal Airlie Beach Marathon Festival	745
Whitsunday Running Club	Galbraith Park Cannon Valley	North Queensland Cross Country Championships	448
Bowen RSL Sub-Branch	Bowen Cenotaph	Anzac Day – Dawn Service and Main Service and March	448
Tour De Cure	Gray's Beach Bowen	Tour De Cure Signature Tour	448
Stella Community	Bowen	Local Law Licence Fee Renewal	224
Bowen Neighbourhood Centre	Bowen Tucker Box Shop	Annual Food Licence Renewal	590
Bowen Neighbourhood Centre	Bowen Tucker Box Shop	Annual Trade Waste Renewal	512
Bowen Neighbourhood Centre	20 Williams Street Bowen	Annual Trade Waste Renewal	148
Total			5,053

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12 LATE REPORT ITEMS

There are no late reports for this meeting.

13.1 - Disposal of Part of Council Freehold Land - Shute Harbour Road**CONFIDENTIAL*****S254J Local Government Regulation 2012 - Closed Meetings***

- (1) A local government may resolve that all or part of a meeting of the local government be closed to the public.*
- (3) However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—*
 - (g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.*

13.2 - Acquisition of Land - Rectification of Road Encroachments on Mountney Road

CONFIDENTIAL

S254J Local Government Regulation 2012 - Closed Meetings

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- (3) However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its councillors or members consider it necessary to close the meeting to discuss one or more of the following matters—*
 - (h) negotiations relating to the taking of land by the local government under the Acquisition of Land Act 1967.*

CONFIDENTIAL

S254J Local Government Regulation 2012 - Closed Meetings

- (1) A local government may resolve that all or part of a meeting of the local government be closed to the public.*
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 - (g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.*

14 MATTERS OF IMPORTANCE

This item on the agenda allows Councillors the opportunity to raise an item not included on the agenda for discussion as a matter of importance.